

CITY OF



Stacey Phillips, Chair
Dennis Miller, Vice Chair
Tony Hicks, Commissioner
Mike McCuiston, Commissioner
Brandon Mihld, Commissioner
Timothy Mullins, Commissioner
Robert O'Brine, Commissioner

AGENDA

Planning Commission

February 18, 2026

6:30 PM

Yucaipa City Hall - City Council Chambers
34272 Yucaipa Blvd., Yucaipa, California

Public Comment Via Mail or Email

Items must be submitted no later than three (3) business hours prior to the meeting at which the commenter seeks to provide comment. Public comment may be submitted via U.S. Mail to the City Clerk at 34272 Yucaipa Blvd., Yucaipa, CA 92399 or via email to publiccomment@yucaipa.gov. All mail and email correspondence will be archived, distributed to the Planning Commission, and retained as part of the public record; however, submissions will not be read out loud during the meeting. The subject line should specify "Public Comment-Planning Commission" and include the date of the meeting.

Written public comment submitted on non-agenda items and on specific agenda items will be made available to the public pursuant to the City of Yucaipa policy regarding the distribution of written public comments at City Council and Commission meetings, which may be accessed on the City's website at <https://yucaipa.gov/agendas-minutes/>. Individuals should be aware that comments provided, including personal information, may be disclosable pursuant to the California Public Records Act.

Live stream/recording of Planning Commission meetings:

Members of the public may watch city council meetings live at: <https://yucaipa.gov/live>.

Possible Live Stream Disruptions:

While the City of Yucaipa strives for uninterrupted streaming, technical issues may occasionally occur. We ask for your understanding and patience should there be any disruptions during the live broadcast. We will work diligently to resolve any issues promptly, however, please be advised that the City Council meeting may continue in person while such issues are resolved. Every attempt will be made for the meeting to be recorded and made available for viewing after its conclusion.

CALL TO ORDER

PLEDGE OF ALLEGIANCE

ROLL CALL

ELECTION OF OFFICERS

PUBLIC COMMENT

LIMIT 3 MINUTES

CONSENT AGENDA

The following Consent Agenda items are expected to be routine and non-controversial. The Planning Commission will act upon them, at one time, without discussion. Any Commissioner or staff member may request removal of an item from the Consent Agenda for discussion.

1. **SUBJECT:** APPROVE THE PLANNING COMMISSION MINUTES OF DECEMBER 17, 2025.

RECOMMENDATION: That the Planning Commission approve the minutes of December 17, 2025.

NEW BUSINESS:

2. **SUBJECT:** VANTAGEONE REAL ESTATE. (PLN-ARC-26-0001) AN ARCHITECTURAL REVIEW FOR A 5,463 SQUARE FOOT “CHILI’S” SIT DOWN RESTAURANT AT 31455 YUCAIPA BOULEVARD AS PART OF YUCAIPA POINTE CENTER.

RECOMMENDATION: That the Planning Commission review the proposed colors, materials, and architectural design for the proposed “Chili’s” sit down restaurant at the Yucaipa Pointe project, if acceptable, approve Case No. PLN-ARC-25-0001.

PUBLIC HEARINGS

The order of Business for the Public Hearing Shall Be:

- A. Open Public Hearing
- B. Disclosure of Ex Parte Communications
- C. Staff Presentation
- D. Applicant/Representative Presentation (if necessary)
- E. Public Comments
- F. Applicant Rebuttal (if necessary)
- G. Public Hearing Closed
- H. Commission Discussion

3. **SUBJECT:** DAVID HIGGINSON, ON BEHALF OF JOHN OZASI (CASE NO. PLN-PHE-25-0014), IS REQUESTING APPROVAL OF A CONDITIONAL USE PERMIT (CUP) AND ARCHITECTURAL REVIEW TO ALLOW THE CONSTRUCTION AND OPERATION OF A NEW TWO-STORY COMMERCIAL BUILDING TOTALING APPROXIMATELY 3,216 SQUARE FEET. THE PROPOSED DEVELOPMENT INCLUDES A PRIMARY JEWELRY RETAIL ESTABLISHMENT OF APPROXIMATELY 2,720 SQUARE FEET, ALONG WITH A SEPARATE 753-SQUARE-FOOT REALTY OFFICE LOCATED WITHIN THE SAME BUILDING FOOTPRINT. THE APPLICANT ALSO REQUESTING A VARIANCE TO PERMIT A REDUCTION IN REQUIRED ON-SITE PARKING, A REDUCTION IN REQUIRED LANDSCAPING AREA, AND A REDUCTION IN THE REQUIRED SIDE YARD SETBACK FROM 10 FEET TO 3.3 FEET FROM THE PROPERTY LINE. ADDITIONALLY, THE PROJECT INCLUDES A LOT MERGER TO CONSOLIDATE TWO ADJOINING PARCELS (ASSESSOR'S PARCEL NUMBERS 030-013-126 AND 030-013-119) INTO A SINGLE PARCEL TOTALING APPROXIMATELY 0.39 ACRES TO FACILITATE UNIFIED SITE DEVELOPMENT.

RECOMMENDATION:

That the Planning Commission conduct a public hearing, and:

- A) Approve the Conditional Use Permit, architectural design and conceptual landscaping subject to the Conditions of Approval as contained in the Agenda Report; and
 - B) Adopt the Findings for the Conditional Use Permit as contained in the Agenda Report; and
 - C) Adopt a Categorical Exemption pursuant to the California Environmental Quality Act of 1970 and the CEQA Guidelines, as amended, Section 15332 (Class 32) and 15305 (Class5); and
 - D) Direct staff to file a Notice of Exemption
4. **SUBJECT:** MICHAEL KLING (CASE NO. PLN-PHE-25-0018): A SPECIAL USE PERMIT FOR THE ARCHITECTURAL REVIEW TO ALLOW CONSTRUCTION OF A NEW DETACHED 2,160-SQUARE-FOOT, 17-FOOT-TALL METAL RECREATIONAL VEHICLE AND AUTOMOTIVE STORAGE GARAGE LOCATED AT THE REAR OF THE PROPERTY AT 33659 COLORADO STREET (ASSESSOR'S PARCEL NUMBER 0318-102-11).

RECOMMENDATION:

That the Planning Commission conduct a public hearing, and:

- A) Review the architectural design of the proposed accessory structure, and if it is acceptable, approve the design subject to the Conditions of Approval; and
- B) Adopt the Special Use Permit Findings as contained in the Agenda Report; and

- C) Adopt a Categorical Exemption pursuant to the California Environmental Quality Act of 1970 and the CEQA Guidelines, as amended, Section 15303 (Class 3); and
- D) Direct staff to file a Notice of Exemption.

STUDY SESSION:

5. SUBJECT: KEY HOUSING LAW BASICS

ANNOUNCEMENTS

ADJOURNMENT

Notice Regarding Americans with Disability Act

The City of Yucaipa complies with the Americans with Disabilities Act of 1990. If you need special assistance to participate in this meeting, please call the City Clerk's Department at (909) 797-2489, during normal business hours, at least 48-hours prior to the meeting. Notification 48 hours prior to the meeting will enable the city to make reasonable accommodations to ensure accessibility to this meeting.

CEQA STATEMENT:

Unless stated otherwise on the agenda, every item on the agenda is exempt from CEQA guidelines sections 15060(c), 15061(b)(3), 15273, 15378, 15301, 15323 and/or Public Resource Code Section 21065.

Pursuant to Government Code Section 54957.5, any disclosable public records related to an open session item on a regular meeting agenda and distributed by the City of Yucaipa to all or a majority of the City Council, less than 72 hours prior to that meeting, are available for public inspection at Yucaipa City Hall, 34272 Yucaipa Boulevard, Yucaipa, CA 92399, during normal business hours.

NOTICE REGARDING CHALLENGES TO DECISIONS

Pursuant to all applicable laws and regulations, including without limitation, California Government Code Section 65009 and/or California Public Resources Code Section 21177, if you wish to challenge in court any of the below decisions (regarding planning, zoning and/or environmental decisions), you may be limited to raising only those issues you or someone else raised at the public hearing(s) described in this notice/agenda, or in written correspondence delivered to the city at, or prior to, this public hearing.

NOTICE REGARDING APPEALS

Appeals of a final action by the Planning Commission must be filed with the city clerk no later than ten (10) calendar days after the day on which the final action was taken, along with the appropriate fee.

AFFIDAVIT OF POSTING

State of California }
County of San Bernardino } ss.
City of Yucaipa }

I, Ana V. Sauseda, City Clerk of the City of Yucaipa, California, do hereby declare that the foregoing agenda was posted on 12/07/2023, at least seventy-two (72) hours prior to the meeting per Government Code 54954.2, at the following locations:

Yucaipa City Hall, 34272 Yucaipa Boulevard, Yucaipa, California
City of Yucaipa website www.yucaipa.gov


Ana V. Sauseda, MMC
City Clerk

City of Yucaipa
PLANNING COMMISSION MINUTES
Regular Meeting of December 17, 2025

A Regular meeting of the Planning Commission of the City of Yucaipa, California was called to order in the Council Chambers, 34272 Yucaipa Boulevard, Yucaipa, on December 17, 2025, at 6:30 PM.

CALL TO ORDER

The meeting was called to order at 6:30 p.m.

PLEDGE OF ALLEGIANCE

The Pledge of Allegiance was led by Commissioner Hicks.

PLANNING COMMISSION ROLL CALL

PRESENT: Dennis Miller, Vice Chair
Mike McCuiston, Commissioner
Tony Hicks, Commissioner
Brandon Mihld, Commissioner
Robert O’Brine, Commissioner

ABSENT: Stacey Phillips, Chair
Timothy Mullins, Commissioner

CITY STAFF: Benjamin Matlock, Deputy Director of Community Development/City Planner
Tuan Vu, Assistant City Attorney
Landon Kern, Assistant City Engineer
Kenny Taylor, Planning Consultant
Katie Syme, Development Services Technician
Maria Koolhoven, Planning Commission Assistant

PUBLIC COMMENT: No public comments on items not on the agenda.

CONSENT AGENDA

1. **SUBJECT:** APPROVE THE PLANNING COMMISSION MINUTES OF NOVEMBER 5, 2025.

RECOMMENDATION: That the Planning Commission approve the minutes of November 5, 2025.

ACTION: MOTION BY COMMISSIONER HICKS, SECOND BY COMMISSIONER MIHL, CARRIED, 5-0-2, TO APPROVE CONSENT AGENDA ITEM NO. 1 (CHAIR PHILLIPS AND COMMISSIONER MULLINS ABSENT).

NEW BUSINESS:

2. **SUBJECT:** YUCAIPA INVESTMENTS GROUP LLC (CASE NO. PLN-ADM-25-0027): THE ARCHITECTURE REVIEW OF A NEW 258-UNIT MULTIFAMILY RESIDENTIAL COMMUNITY PROPOSED ON APPROXIMATELY 8.39 ACRES WITHIN THE RM-24 (HIGH DENSITY MULTIPLE RESIDENTIAL) LAND USE DISTRICT; LOCATED BETWEEN 3RD STREET TO THE WEST AND 2ND STREET TO THE EAST, APPROXIMATELY 375 FEET NORTH OF COUNTY LINE ROAD. A LOT MERGER WILL ALSO BE PROCESSED TO CONSOLIDATE ALL FOUR PARCELS INTO A SINGLE LOT. APNS: 0319-253-28, -29, -30, -84.

RECOMMENDATION:

That the Planning Commission review and if it is considered acceptable, approve the architectural design and conceptual landscaping for the proposed Project.

- Staff Presentation

Planning Consultant Kenny Taylor presented the Agenda Report.

- Applicant Presentation

The applicant's representative, Travis Heaps, addressed the Planning Commissioners.

ACTION: MOTION BY COMMISSIONER O'BRINE, SECOND BY COMMISSIONER MIHL, CARRIED, 5-0-2, TO APPROVE AGENDA ITEM NO. 2 (CHAIR PHILLIPS AND COMMISSIONER MULLINS ABSENT).

PUBLIC HEARINGS

The order of Business for the Public Hearing Shall Be:

- A. Open Public Hearing
- B. Disclosure of Ex Parte Communications
- C. Staff Presentation
- D. Applicant/Representative Presentation (if necessary)
- E. Public Comments
- F. Applicant Rebuttal (if necessary)
- G. Public Hearing Closed
- H. Commission Discussion

PLANNING COMMISSION EX PARTE DISCLOSURE

Vice Chair Miller asked if there were any ex parte communications to disclose. There were no items disclosed.

3. **SUBJECT:** BRIAN MYERS (CASE NOS. PLN-PHE-25-0013, PLN-ADU-25-0004): A LAND USE COMPLIANCE REVIEW AND SPECIAL USE PERMIT FOR THE ARCHITECTURAL REVIEW OF A 1,200 SQ. FT. ACCESSORY DWELLING UNIT (ADU) AND COMBINED 250 SQ. FT. PATIO ADDITIONS TO AN ATTACHED 664 SQ. FT. GARAGE AT 13174 6TH PLACE; APN: 0318-192-82.

RECOMMENDATION:

That the Planning Commission conduct a public hearing, and:

- A) Review the architectural design of the proposed accessory structure, and if it is acceptable, approve the design subject to the Conditions of Approval; and
- B) Adopt the Special Use Permit Findings as contained in the Agenda Report; and
- C) Adopt a Categorical Exemption pursuant to the California Environmental Quality Act of 1970 and the CEQA Guidelines, as amended, Section 15303 (Class 3); and
- D) Direct staff to file a Notice of Exemption

- Public Hearing Opened

Vice Chair Miller opened the Public Hearing for Item No. PLN-PHE-25-0013 and PLN-ADU-25-0004 at 6:59 p.m.

- Staff Presentation

Development Services Technician Syme presented the Agenda Report.

- Applicant Presentation

There was no applicant presentation.

- Public Comments

There were no public comments.

- Applicant Rebuttal

There was no applicant rebuttal.

- Public Hearing Closed

Vice Chair Miller closed the Public Hearing at 7:06 p.m.

ACTION: MOTION BY COMMISSIONER MCCUISTION, SECOND BY COMMISSIONER HICKS, CARRIED, 5-0-2, TO APPROVE AGENDA ITEM NO. 2 (CHAIR PHILLIPS AND COMMISSIONER MULLINS ABSENT).

ANNOUNCEMENTS: Deputy Director of Community Development / City Planner Benjamin Matlock informed the Commissioners that the League of California Cities Planning Commissions Academy will be held March 11, 2026, to March 13, 2026, in Anaheim. The next Planning Commission meeting will hopefully be held in late January or early February 2026.

Deputy Director / City Planner, Benjamin Matlock, thanked the Commissioners for a great year and wished everyone a wonderful and happy Holiday Season.

ADJOURNMENT:

The meeting adjourned at 7:32 PM.

Benjamin Matlock
Deputy Director/City Planner

Stacey Phillips
Chair of the Planning Commission



STAFF REPORT

DATE: February 18, 2026

TO: Honorable Chairperson and Planning Commissioners

FROM: Benjamin J. Matlock, Deputy Director of Community Development 

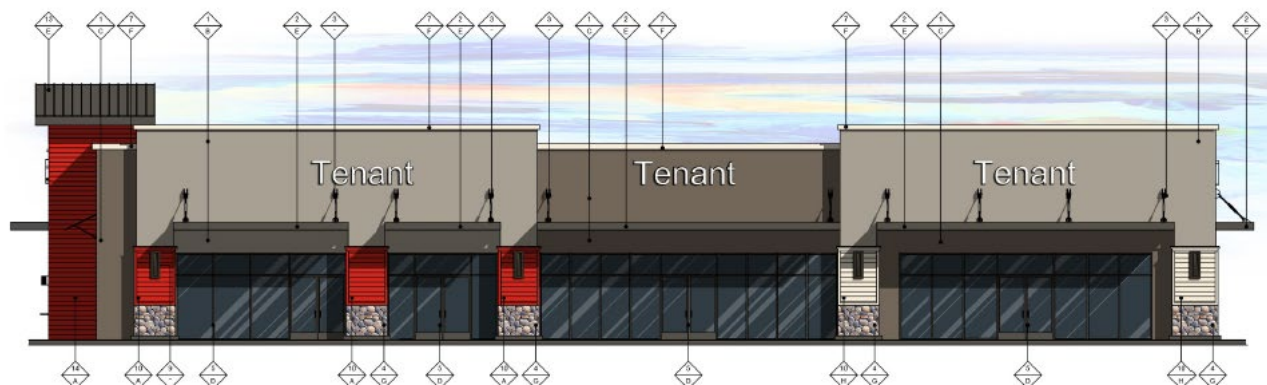
SUBJECT: **VantageOne Real Estate.** (PLN-ARC-26-0001) An Architectural Review for a 5,463 square foot "Chili's" sit down restaurant located at 31455 Yucaipa Boulevard as part of the Yucaipa Pointe center.

RECOMMENDATION:

That the Planning Commission review the proposed colors, materials, and architectural design for the proposed "Chili's" sit down restaurant at the Yucaipa Pointe project, if acceptable, approve Case No. PLN-ARC-25-0001.

BACKGROUND/DISCUSSION:

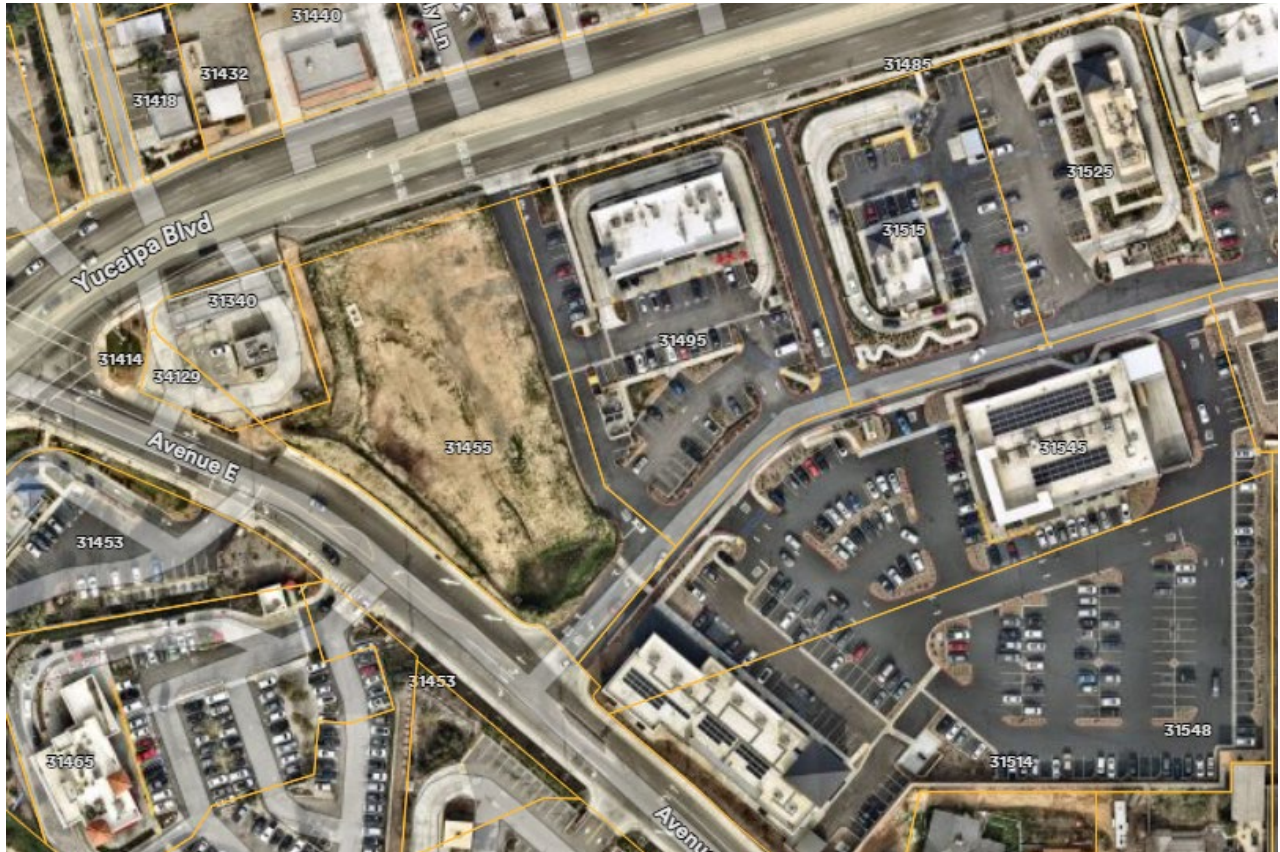
At the regular meeting of November 25, 2019, the City Council approved Case No. 18-129/GPA/DA/CUP/MJV/ARC/TPM No. 20125, a Conditional Use Permit for a phased unified center development plan, known as the Yucaipa Pointe Project, following a recommendation from the Planning Commission. An Architectural Review package for some of the proposed buildings and sign master plan was also approved for the center during that meeting.



Typical design theme for Yucaipa Pointe (Chipotle Building)

This Architectural Review established a general design theme, with river rock base treatment and wood siding used as part of the buildings to create a generally stable appearance between all the

different buildings. However, each of the buildings were also designed to feature different colors and accents with the expressed intent to reduce monotony within the project. In addition, stand alone uses, such as the Quick Quack Carwash and Jack In The Box restaurant, still retain a higher degree of their required corporate design while integrating with the other structures.



Aerial of Yucaipa Point and location of the remaining commercial pad

The property developer is currently working on completing the remaining stand-alone pad (Pad 1), which had been planned for a sit-down restaurant, and these efforts have resulted in a proposal for a 5,463 square foot "Chili's" restaurant. Because there is notably more unique detailing that is specific to this building compared to the previously approved building designs, Planning Commission approval is necessary per the Yucaipa Pointe Conditions of Approval. Therefore, to facilitate this restaurant's development, the applicant has prepared an Architectural Review package that addresses the building's design for consideration by the Planning Commission. The proposed elevations reflect the planned direction for Chili's, which reintroduces more colorful design elements that was a part of their branding in prior decades. As with many national chain businesses, the developer's design must adhere to the restaurant's corporate design requirements while trying to integrate the building into the overall center.



Exterior front elevation for Chili's

The proposed architecture retains the overall modern lines of the Yucaipa Pointe development's design, as well as wood siding detailing in "Navy Blue" and "Light Natural Walnut" along key elevations. The primary stucco color for the building is "Tin Lizzie," and accented by stacked brick in "Grizzle Gray."



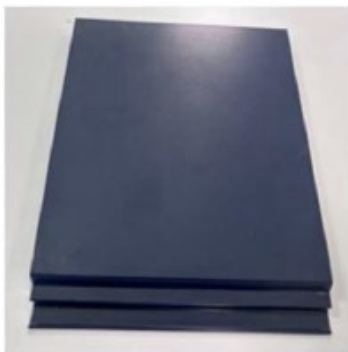
MAIN BRICK PAINT | TAG #EP-1
MANUFACTURER: Sherman Williams
COLOR: SW7068 Grizzle Gray



EXISTING SIDING PAINT | TAG #EP-2
MANUFACTURER: Sherman Williams
COLOR: SW9163 Tin Lizzie



DOORS + DOOR FRAME PAINT | TAG #EP-5
MANUFACTURER: Sherman Williams
COLOR: SW7582 Salute Red



METAL SIDING | TAG #WC-1
MANUFACTURER: Longboard Architectural
COLOR: Navy Blue
SPEC: 6" V Groove Cladding



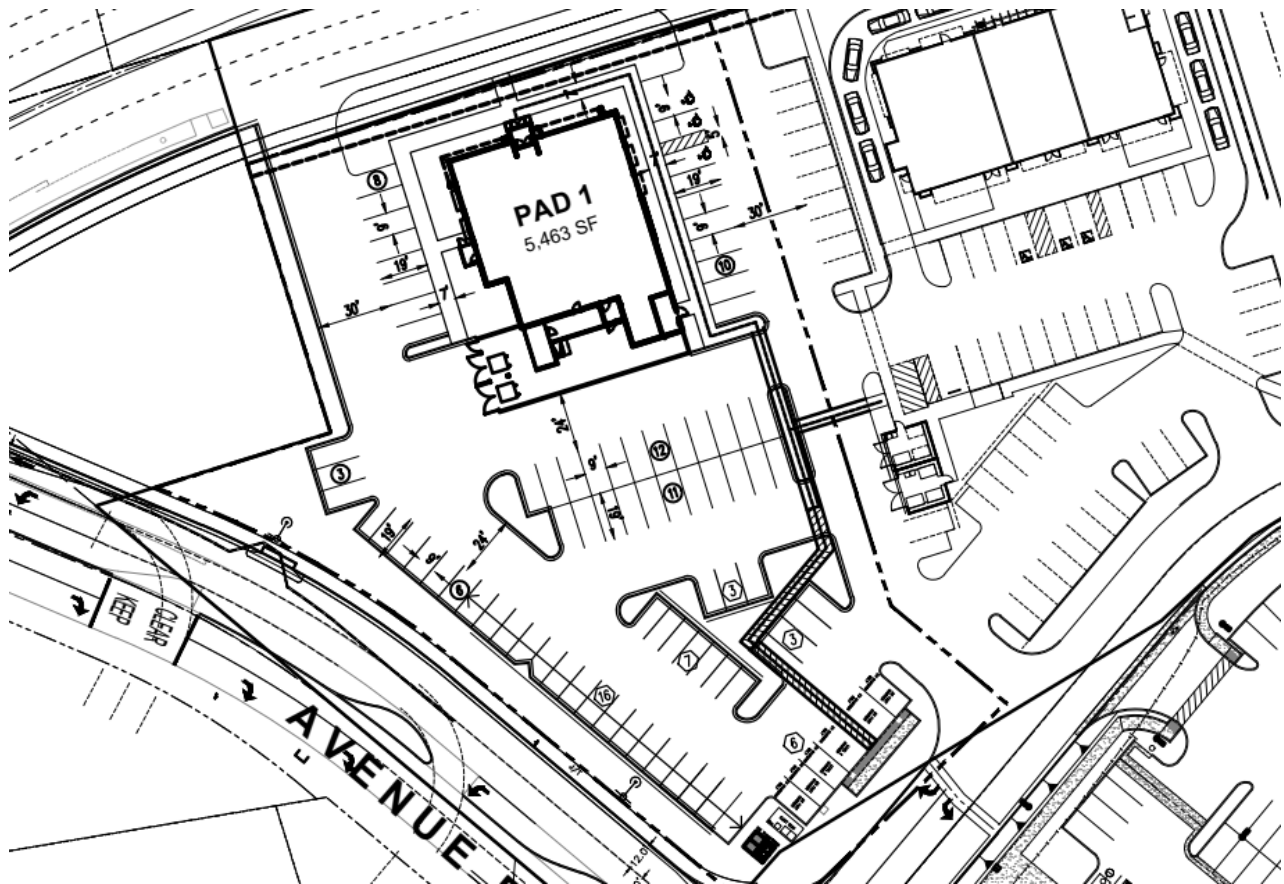
"WOOD LOOK" METAL SIDING | TAG #WC-2
MANUFACTURER: Longboard Architectural
COLOR: Light Natural Walnut
SPEC: 6" V Groove Cladding



CUSTOM PRINTED METAL PANELS | TAG #WC-3
MANUFACTURER: AGI
COLOR: Custom
SPEC: 3mm ACM

Color and Materials for Chili's

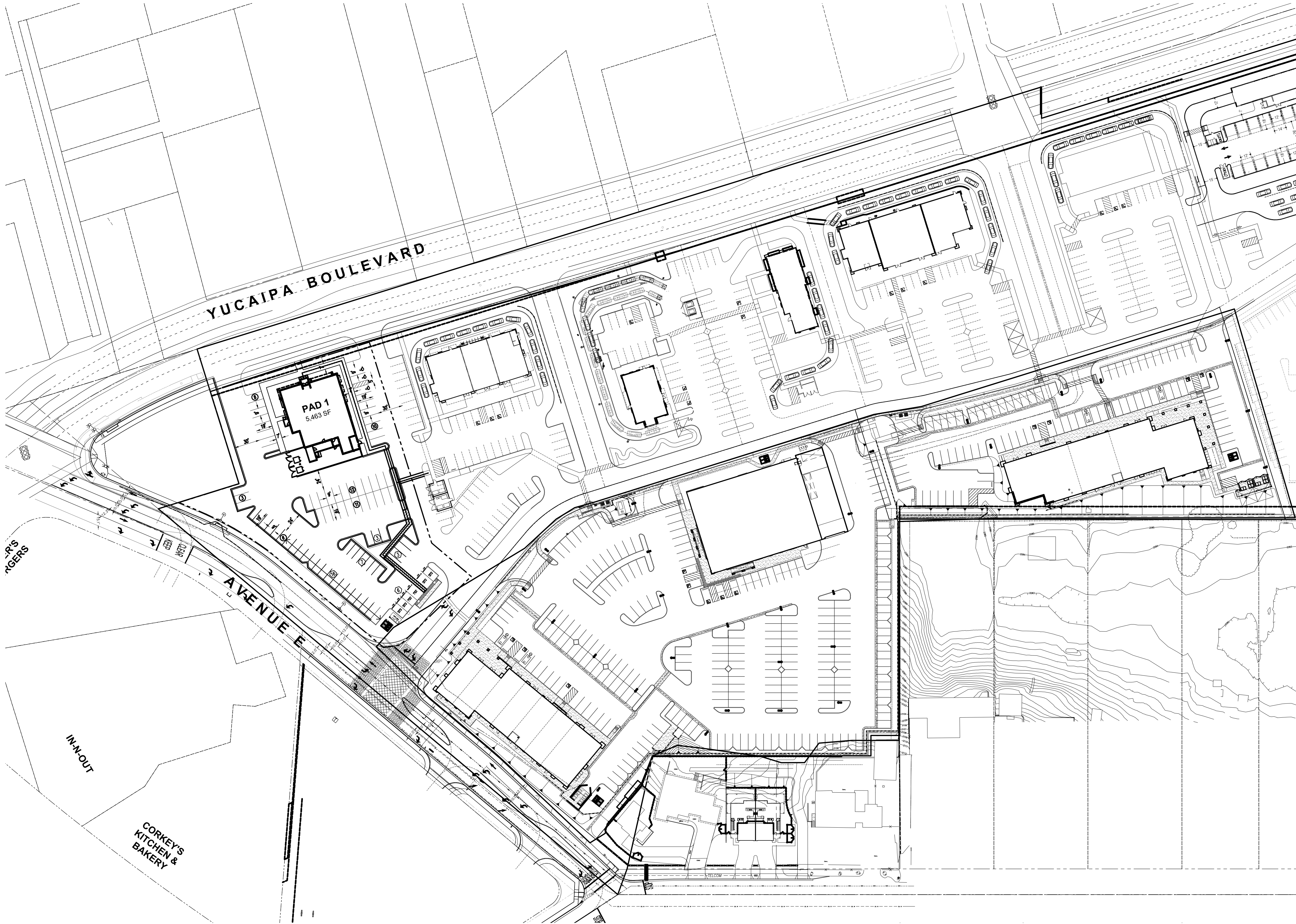
However, a variety of motifs are included that are specific to Chili's, including a decorative tile element that integrates with their interior design of the restaurant, as well as a color scheme that matches their corporate colors. The site would be developed where the entrance is located along Yucaipa Boulevard, and substantial window fenestration is provided for the front elevation. Both the primary entrance, as well as a side entry for "to-go" orders, are located under a decorative tower element of 21 feet and 18 feet, 6 inches, respectively.



Site Plan Layout for Pad 1

Attachment(s):

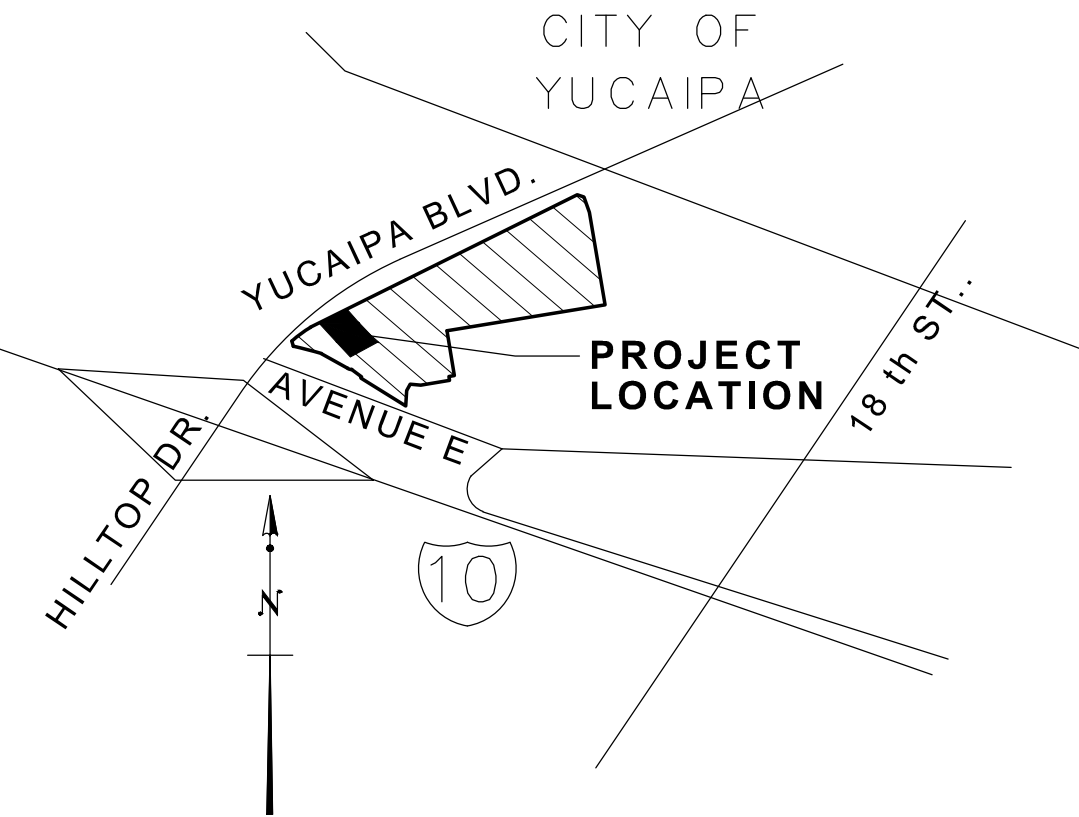
1. Site Plan
2. Elevations



PROJECT DATA:

DEVELOPER:	VANTAGEONE REAL ESTATE INVESTMENTS, LLC		
APPLICANT/	4 CORPORATE PLAZA DRIVE, SUITE 210		
	NEWPORT BEACH, CA 92660		
	T: 949-631-6620 C: 949-903-3818		
	CONTACT: TOM ROBINSON		
	tom@v1invest.com		
REPRESENTATIVE:	STEVE MURRAY ARCHITECT		
	1177 IDAHO STREET SUITE 200A		
	REDLANDS, CA 92374		
	909-307-0146		
PROJECT DESCRIPTION:	PROPOSED RESTAURANT DEVELOPMENT		
ASSESSOR'S PARCEL NO.:	PARCEL 1 - 0300-191-42		
PROJECT ADDRESS:	SWC YUCAIPA BLVD. AND AVENUE E		
	YUCAIPA, CA		
GENERAL PLAN:	COMMERCIAL		
ZONING PLAN:	CS (SERVICE COMMERCIAL)		
UTILITIES:	WATER - WESTERN HEIGHTS WATER DISTRICT		
DISTRICT	TELEPHONE - FRONTIER COMMUNICATIONS		
	GAS - SOUTHERN CALIFORNIA GAS CO		
	ELECTRIC - SOUTHERN CALIFORNIA EDISON		
	SEWER - YUCAIPA VALLEY WATER DISTRICT		
BUILDING HEIGHT:	TO BE DETERMINED		
SITE AREA	1.47 ACRES (64,033.2 SQ. FT.)		
COVERAGE AREAS:			
AREA OF USE	S.F.	REQUIRED%	PROVIDED%
BUILDINGS	5,463	---	5,463 SF(8.53%)
PARKING/PAVED	---	---	---
LANDSCAPING	---	---	---

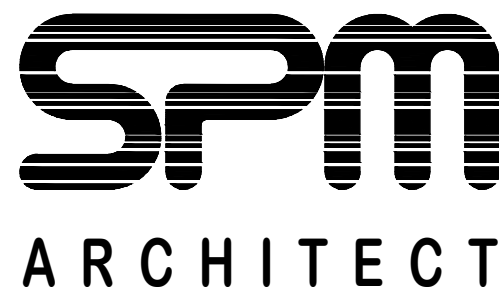
VICINITY MAP



OVERALL ARCHITECTURAL SITE PLAN - YUCAIPA POINTE

SCALE:
1"=60.00'

1



STEVEN PAUL MURRAY
ARCHITECT & ASSOCIATES
1177 Idaho Street, Suite 200
Redlands, CA 92374
Phone (951) 316-0575
email: spmarch007@gmail.com

STAMP:

for :

Proposed Restuarnt Site

PAD 1

31607 YUCAIPA BLVD.
YUCAIPA, CA 92399

REVISIONS

CONSTR.

BID

PLAN CHECK

DRAWN

RJC

JOB NO.

26-013

SHEET NAME

OVERALL
SITE PLAN

SHEET NO.

A1.1

SHEET - OF -



FRONT ELEVATION
1/4"=1'-0"

1



LEFT ELEVATION
1/4"=1'-0"

2

FUSIONAE

6201 CAMPUS CIRCLE DRIVE E
IRVING, TEXAS 75063
TEL 972.870.1288
WWW.FUSIONAE.COM

CORPORATE:

BRINKER RESTAURANT, CORP.
3000 OLYMPUS BLVD.
DALLAS, TEXAS 75019
972.980.9917
www.brinker.com

RESTAURANT #CHXXX

PROTOTYPE 19.0

XXX STREET NAME

CITY, STATE ZIP

CLIENT: BRINKER RESTAURANT, CORP.



DATE	DESCRIPTION

DATE	DESCRIPTION

PROJECT NUMBER:

CH124010

SHEET TITLE:

EXTERIOR
ELEVATIONS

SHEET NUMBER:

A201



STAFF REPORT

DATE: Planning Commission Meeting of February 18, 2026

TO: Honorable Chairperson and Planning Commissioners

FROM: **Benjamin Matlock**, Deputy Director of Community Development *Benjamin Matlock*

PREPARED BY: Kenny Taylor, Planning Consultant *Kenny Taylor*

SUBJECT: David Higginson, on behalf of John Ozasi (Case No. PLN-PHE-25-0014), is requesting approval of a Conditional Use Permit (CUP) and Architectural Review to allow the construction and operation of a new two-story commercial building totaling approximately 3,216 square feet. The proposed development includes a primary jewelry retail establishment of approximately 2,720 square feet, along with a separate 753-square-foot realty office located within the same building footprint. The applicant also requesting a Variance to permit a reduction in required on-site parking, a reduction in required landscaping area, and a reduction in the required side yard setback from 10 feet to 3.3 feet from the property line. Additionally, the project includes a Lot Merger to consolidate two adjoining parcels (Assessor's Parcel Numbers 030-013-126 and 030-013-119) into a single parcel totaling approximately 0.39 acres to facilitate unified site development.

RECOMMENDATION:

That the Planning Commission conduct a public hearing; and:

- A) Approve the Conditional Use Permit, architectural design and conceptual landscaping subject to the Conditions of Approval as contained in the Agenda Report; and
- B) Adopt the Findings for the Conditional Use Permit as contained in the Agenda Report; and
- C) Adopt a Categorical Exemption pursuant to the California Environmental Quality Act of 1970 and the CEQA Guidelines, as amended, Section 15332 (Class 32) and 15305 (Class 5); and
- D) Direct staff to file a Notice of Exemption.

BACKGROUND/DISCUSSION:

Surrounding Land Uses:

Area Land Use Designations; Improvement Levels; and existing Land Uses:

Site:	CS (Service Commercial)	IL-1	Vacant
North:		IL-1	I-10 Highway/Parking Lot
South:	CS (Service Commercial)	IL-1	Outer Highway/Vacant Commercial Building
East:	CS (Service Commercial)	IL-1	Existing Subway Restaurant
West:	CS (Service Commercial)	IL-1	Existing State Farm office building

Location and Setting:

The proposed project is located on two contiguous parcels (APNs 030-013-126 and 030-013-119) comprising approximately 0.39 acres ($\pm 17,000$ square feet). The site is situated on the south side of Outer Highway, adjacent to Hilltop Drive, and is designated within the Service Commercial (CS) Land Use District. The project site consists of a vacant, unimproved triangularly shaped lot that slopes downward away from Outer Highway. The surrounding area is characterized by a mix of existing commercial development and undeveloped parcels. No structures are currently located on the subject parcels.



View of project site looking south from Outer Highway

Conditional Use Permit:

Pursuant to Yucaipa Development Code Sections 83.030105 and 84.0355(b)(1), certain land uses within the Service Commercial (CS) Land Use District—including professional and personal service uses such as jewelry stores—are subject to approval of a Conditional Use Permit (CUP). Professional

and personal services are defined and classified under Development Code Section 84.0230(1) and (2) and are conditionally permitted within the CS District upon approval by the Planning Commission, provided that the proposed use complies with all applicable development standards, operational requirements, and conditions of approval. In accordance with Development Code Section 83.030120(c)(1) through (6), approval of a Conditional Use Permit requires the Planning Commission to make findings that the proposed use is consistent with the General Plan, compatible with surrounding land uses, will not be detrimental to public health, safety, or welfare, is adequately served by public services and infrastructure, will not create adverse land use or environmental impacts, and complies with all applicable provisions of the Development Code.

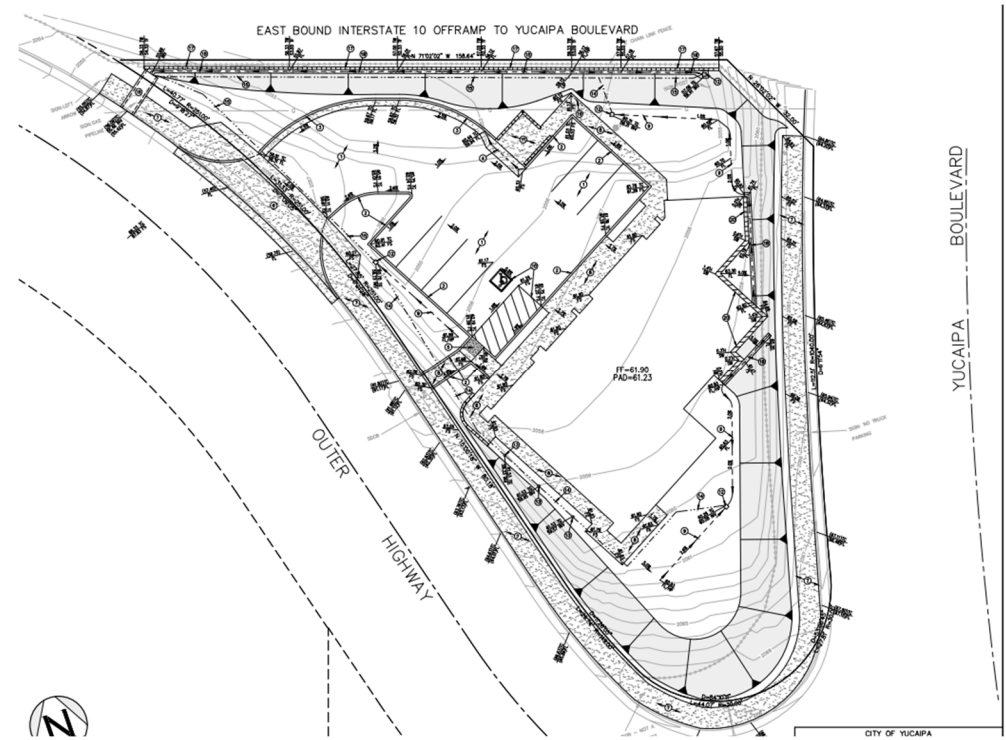
The proposed jewelry retail store and adjoining office leasing space has been evaluated for consistency with the required findings. As conditioned, the project is compatible with the intent of the Service Commercial (CS) Land Use District, which is intended to accommodate a range of service-oriented commercial uses that serve the community while maintaining compatibility with surrounding commercial development.

Site Plan:

The site's triangular shape and proximity to regional roadway infrastructure creates a constrained development envelope, which has informed the building placement, circulation design, and a request for a Variance that addresses parking requirements and building setback.

Primary vehicular access to the site is provided along Outer Highway 10 from Hilltop Drive. The site plan reflects a single consolidated access point from Outer Highway designed to provide safe ingress and egress while minimizing conflicts with adjacent traffic movements.

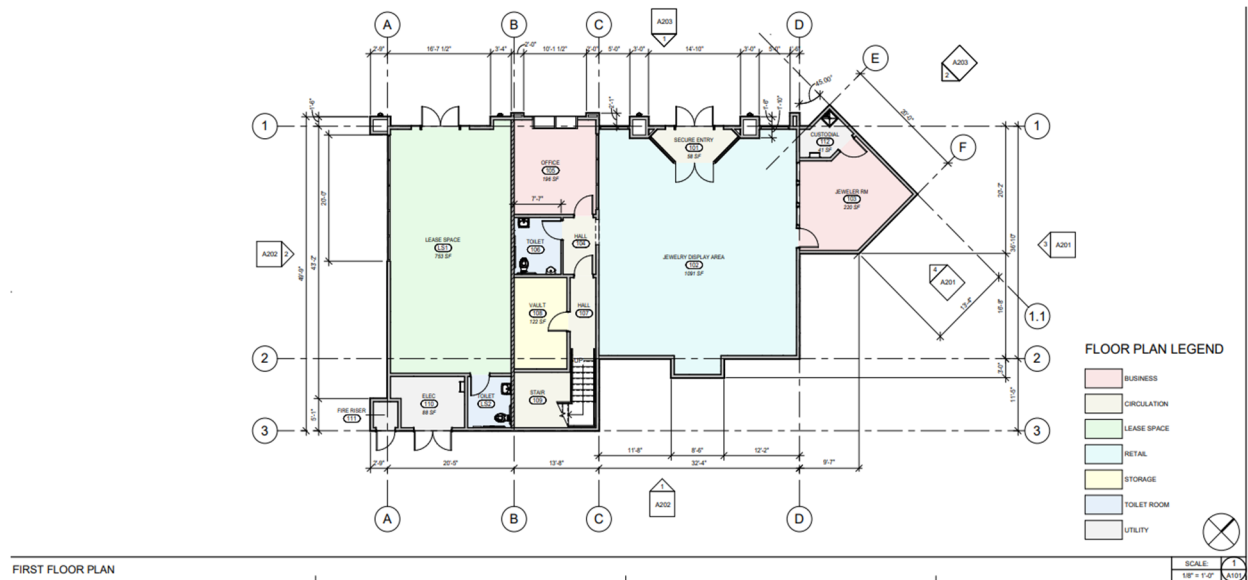
The proposed two-story retail and office building is centrally located on the site and oriented to respond to the parcel's irregular shape and surrounding roadway conditions. The building footprint is positioned to maximize usable on-site circulation while maintaining building setbacks where feasible. Due to the narrow and angled configuration of the parcels, portions of the building encroach into the required setback along Hilltop Drive, which is subject to approval of a Variance.



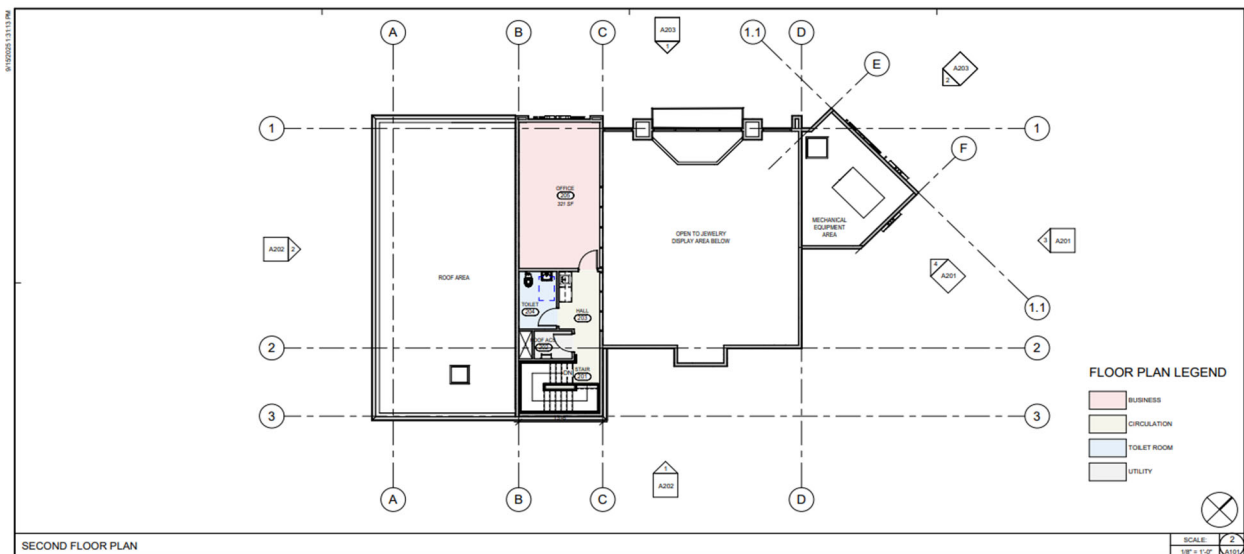
The project site consists of approximately 0.39 acres, which is below the standard minimum district size of five (5) gross acres typically required for Service Commercial zoning pursuant to Development Code Section 84.0355(b)(1). However, the Development Code allows for flexibility in minimum lot size requirements. Specifically, Section 84.0355(b)(1) permits commercial properties to be less than five acres in size when a subdivision application is filed concurrently with a Planned Development or Conditional Use Permit application. The proposed project qualifies for this provision, and the reduced site size has been addressed through the project design, operational characteristics, and requested entitlements. Based on the foregoing, the proposed use and site configuration are consistent with the intent and purpose of the Service Commercial (CS) Land Use District and can be approved subject to the findings and conditions of approval.

Floor Plan:

The new two-story commercial building totaling approximately 3,216 square feet on a vacant site. The proposed project consists of a retail jewelry establishment with an adjoining office uses. The first floor is primarily dedicated to the public-facing retail component of the project and is accessible from the Outer Highway parking entrance. The main entrance provides direct access to the jewelry display and sales area, which serves as the primary customer space. This area is centrally located and designed to accommodate display cases, customer circulation, and point-of-sale functions. Supporting spaces on the first floor include a jeweler workroom, secured storage and vault areas, restrooms, and utility rooms. These spaces are internally connected but separated from the public retail area to ensure operational security and efficient workflow. In addition to the primary jewelry retail space, the first floor includes a separate, self-contained leasable commercial suite.



The second floor is dedicated primarily to office and administrative uses that are accessory to the jewelry business. This level includes office space intended for management, administrative functions, and related professional use.



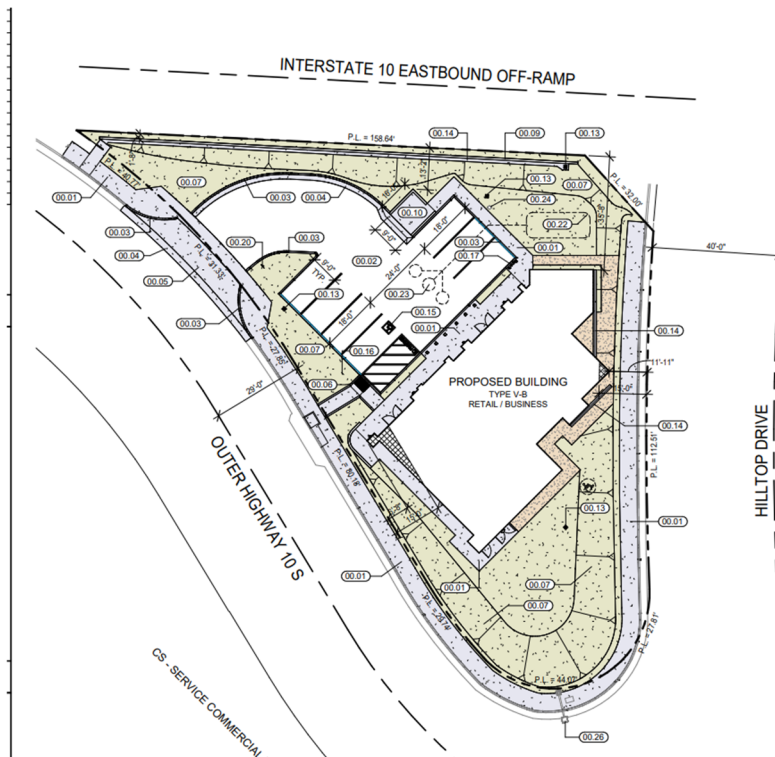
Variance Request:

Prior to approving a request for a Variance to reduce the required number of on-site parking spaces and the building setback along Hilltop Drive, the Planning Commission must make the following findings. Based on the project record, staff finds that the proposed reductions are consistent with the required findings for the reasons stated below.

Parking:

On-site vehicular circulation is designed as a one-way loop around the building, allowing vehicles to enter, circulate, and exit the site efficiently without dead-end aisles. Parking spaces are distributed along the interior of the site and adjacent to the building in a configuration that responds to the site's irregular geometry while maintaining adequate maneuvering space and access to building entrances.

Pursuant to Yucaipa Development Code Section 87.0165(a), retail uses such as jewelry stores are required to provide one parking space for every 250 square feet of gross floor area. Based on the proposed building size of approximately 3,216 square feet, a total of 13 parking spaces would ordinarily be required. The proposed site plan provides seven (7) on-site parking spaces, consisting of six standard parking stalls and one accessible parking space located in proximity to the primary building entrance. A Variance is requested to allow a reduction in the required number of on-site parking spaces.

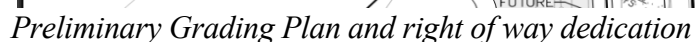


Employee parking will be accommodated through available on-street parking along Outer Highway 10, thereby reserving on-site parking spaces primarily for customer use. On-street parking is available immediately adjacent to the project frontage and can reasonably accommodate approximately four to five additional vehicles. A new sidewalk connection is proposed to provide safe and direct pedestrian access from on-street parking areas to the building entrance. Because the segment of Outer Highway 10 terminates at the City limit, limited vehicle trips occur along this roadway segment.

The proposed jewelry store is anticipated to operate as a low-intensity, appointment-based retail use with limited staffing and controlled customer volumes. Given the nature of the business, the

The requested parking reduction is consistent with the intent and findings of Yucaipa Development Code Section 83.030905(c)(g)(1) through (4), as the operational characteristics of the use demonstrate that the full parking requirement is not necessary to support the proposed development. Staff has reviewed the request and supports the Variance to reduce the required number of parking spaces, subject to the findings and conditions of approval.

The subject property is located at the corner of Yucaipa Boulevard/Hilltop Drive and Outer Highway South and is subject to the City's arterial and collector roadway improvement standards. To accommodate future public infrastructure improvements and ensure consistency with existing and ultimate right-of-way alignments, the project is required to dedicate additional public right-of-way along Hilltop Drive Street frontage. Pursuant to the Yucaipa General Plan Circulation Element, the adjoining segment of Yucaipa Boulevard is designated as a Major Highway. Major highways are intended to serve through traffic movement across urban areas and are subject to controlled access from properties fronting the right-of-way. As Yucaipa Boulevard passes over Interstate 10, this roadway is reduced to facilitate access to Outer Highway 10. While the curb location is at the necessary width, pedestrian improvements are required by the Project. To implement these adopted standards, the Project is required to dedicate sufficient right-of-way to achieve the ultimate roadway cross-section.



7

Drive for the construction of a concrete sidewalk and related frontage improvements in accordance with the City of Yucaipa Chapter 2 (Dedications and Street Improvements). The required dedication results in the reduction of the property boundary.

Pursuant to Yucaipa Development Code Section 84.0355(d), required setbacks are measured from property lines (see “Consistency with the General Plan and Development Code,” page 11). Accordingly, once the right-of-way dedication is applied, all setback calculations must be measured from the adjusted, post-dedication property line reflecting the ultimate right-of-way condition.

After accounting for the required dedication, the effective side yard setback between the adjusted property line and the proposed structure is approximately 3.3 feet, as depicted on the approved site plan. The Commercial Service (CS) zoning district requires a minimum fifteen (15) foot street side yard setback. Because the mandatory public dedication reduces the buildable width of the parcel, the project cannot comply with the minimum 15-foot setback requirement.

Accordingly, approval of a Variance is required to permit a reduced street side yard setback of approximately 3.3 feet in lieu of the required 15 feet. The need for the Variance arises directly from the right-of-way dedication necessary to implement adopted General Plan circulation standards and Engineering frontage improvement requirements. This dedication reduces the developable area of the site and creates a practical development constraint in meeting the CS zoning district setback standard while still allowing reasonable commercial development of the property, when combined with the unique shape of the lot, the existing lot size, and the multiple roadway frontages adjoining the Project site..

The Variance does not increase the intensity or density of development otherwise permitted within the CS zoning district. Rather, it allows the project to accommodate required public right-of-way improvements while maintaining functional site design. The required dedications implement the Yucaipa General Plan Circulation Element policies governing Major Highways and ensure that the project does not preclude achievement of the City’s ultimate roadway standards. The requested Variance is therefore necessary to reconcile zoning setback requirements with mandated public right-of-way improvements, while maintaining as many parking and site access opportunities as feasible.

Architectural Review:

The proposed development features a contemporary two-story approximately 28 feet in height commercial building designed to establish a strong architectural presence along the Outer Highway and Hilltop Drive while maintaining compatibility with surrounding service-commercial development. The building employs a clean, modern architectural design characterized by articulated massing, high-quality exterior materials, and a restrained, cohesive color palette. These design elements enhance visual interest and create a distinctive architectural presence for motorists traveling eastbound along Interstate 10 through the City of Yucaipa.



Rendering from I-10 Highway

The building utilizes a combination of high-quality materials to create contrast and texture, including:

- Vertical fiber cement siding in a gray-tone finish applied to accent walls, providing vertical emphasis.
- Smooth cement plaster (stucco) in light neutral tones for primary wall surfaces, contributing to a clean and durable exterior finish.
- Architectural metal panel elements in dark gray and charcoal tones used to frame entries and windows, adding depth and contrast.
- Aluminum-framed storefront windows and doors with clear glazing to maximize transparency and pedestrian engagement at the ground level.
- Decorative metal hardware and signage elements in brushed brass finishes, reinforcing the jewelry retail identity and providing a refined architectural accent.

The material palette is cohesive and contemporary, and all finishes are durable and appropriate for a service-commercial corridor. This articulation provides visual balance and transitions the building height along the street frontage. Horizontal parapet elements with clean rooflines define the building edges and contribute to a contemporary commercial aesthetic.



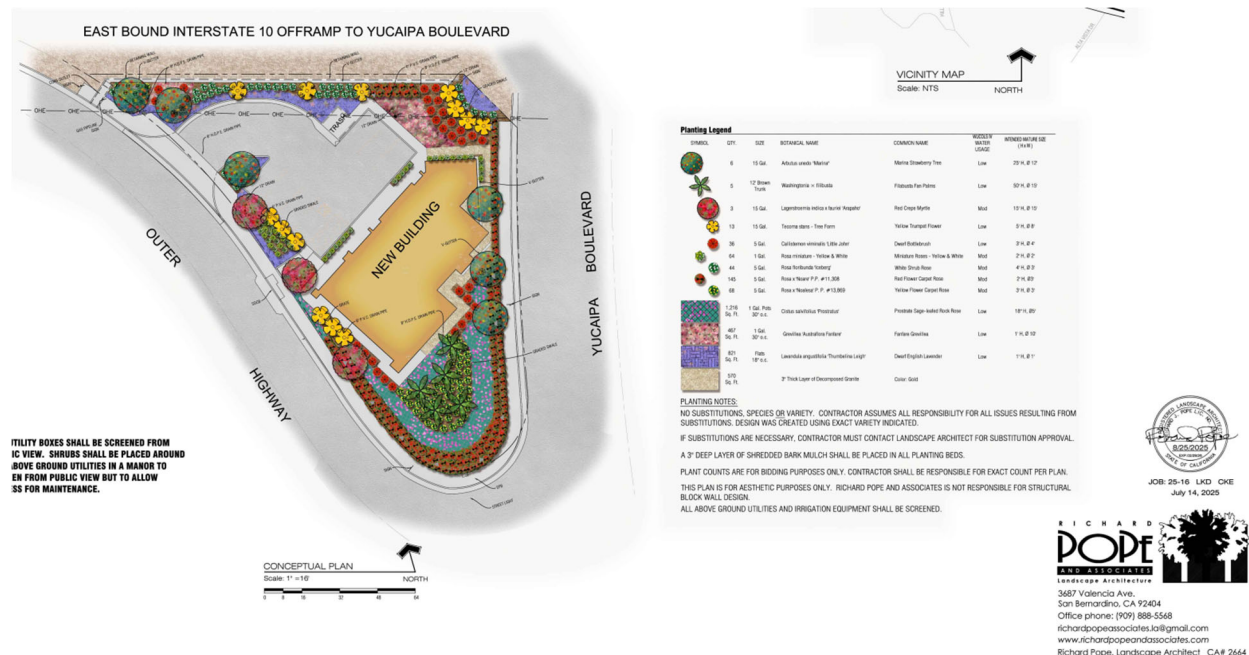
Rendering from Hilltop Drive

Vertical architectural elements are used to break up long façade planes and emphasize building entries. The overall composition avoids large uninterrupted wall surfaces and provides a human-scaled rhythm along the street-facing elevations. The building includes architectural elements along all sides of the building to maintain 360 degrees of architectural detail as required by the City of Yucaipa's Design Guidelines.

Landscaping:

The project includes a comprehensive landscape design encompassing approximately 7,372 square feet of landscaped area surrounding the proposed building and parking areas. Landscaping is concentrated along the site perimeter, building frontage, and street-facing edges to soften the visual appearance of the development, provide screening from adjacent roadways, and enhance the overall streetscape character along Outer Highway 10 South and Yucaipa Boulevard.

The plan illustrates several 15-gallon ornamental and shade trees distributed along the site perimeter and within interior landscape islands. The conceptual plan initially included palm tree species as part of the planting palette. However, consistent with City of Yucaipa landscape standards and established design practices, staff has conditioned the Project to replace all proposed palm trees with an alternative tree species that are more appropriate to the local climate and character of Yucaipa. Shrubs are shown in continuous bands along the perimeter of the site and around the building foundation. The shrub palette includes a mix of flowering and evergreen species, providing seasonal color variation and year-round visual screening. Groundcover plantings are used extensively to fill landscape areas between shrubs and trees, reducing maintenance requirements and supporting water efficiency.



Project conceptual landscape plan

Overall, the planting design shown in the plan emphasizes layering, drought tolerance, and visual screening, while maintaining a clean and orderly appearance appropriate for a Service Commercial development.

Consistency with the General Plan and Development Code:

The proposed Project is located within the CS Land Use District. The table and discussion below provides an evaluation of the proposed Project's consistency with adopted development standards with the City's Development Code and adopted General Plan:

CRITERIA	PROPOSAL	COMPLIANCE WITH GENERAL PLAN AND DEVELOPMENT CODE
Land Use	Convenience/Support Services, Retail, and Professional Services	<u>Yes:</u> CS standards for allow such jewelry store operations with approval of a Conditional Use Permit or Planning Use Permit.
Building Height	The tallest portion of the building reaches a height of 28 feet.	<u>Yes:</u> CS Development standards allow a building height of 45 feet.
Building and Lot Coverage	• <u>Building Coverage:</u> Approximately 13 percent. • <u>Site Coverage:</u> Approximately 90% percent (building footprint, concrete, asphalt, site walls, and landscape area).	<u>Yes:</u> CS Development standards allow a building coverage of 65 percent and 90 percent coverage for buildings and paved surfaces, respectively.
Landscaping	• <u>Site/Parking Lot Landscaping:</u> approximately 53.34% percent of the Project site is landscaped.	<u>Yes:</u> A minimum of 15 percent of the site must be landscaped.
Building and Landscape Setback	<u>Building Setback</u> • Front yard: 15 feet • Street Side yard: 3.3 feet • Rear yard: 35 feet * Variance to reduce the required 10-foot side yard setback to 3.3 feet from the property line to allow for public infrastructure improvements	<u>No*:</u> CS Development standards are as follows: • Front Yard Setback: 15 Feet • Side Yard Setbacks: 10 feet on one (1) side and 0 feet on the other (when adjacent to a commercial or industrial land use district). • Street Side Yard: 15 Feet • Rear Yard Setbacks: 10 Feet
Parking Spaces	7 total parking spaces including 1 handicap space. * See Variance Findings.	<u>No*:</u> Pursuant to Yucaipa Development Code Section 87.0165(a), retail uses such as jewelry stores are required to provide one parking space for every 250 square feet of gross floor area. Based on the proposed building size of approximately 3,216 square feet, a total of 13 parking spaces would ordinarily be required.

The Project meets or exceeds the City's General Plan and Development Code standards for the above-mentioned items, except for where a Variance is requested, and therefore requires additional findings

for approval that have been provided for the Commission's consideration. The site provides for adequate access and overall site design.

In addition, the proposed Project supports several General Plan policies. These include the following:

- CDL-1.2 Places for Commerce. Provide sites for a range of commercial uses, including shopping, dining, entertainment, and offices that provide a strong employment base and offer local services; improve commercial properties along I-10 through infrastructure, aesthetics, and development strategies.
- CDL-10.4 Design Variation. Encourage identifiable architectural designs, design variations, and well-planned projects that are visually interesting, neighborhood or district oriented, and well-integrated with the surroundings.
- CDL-10.1 Development Review. Implement and adhere to development review procedures and design guidelines in the City of Yucaipa Municipal Code that advance the visual quality of the community.
- CDL-10.8 Safe Community Design. Require the use of CPTED principles (Crime Prevention Through Environmental Design), including creating opportunities for "eyes on the street" and clearly distinguishing between public and private spaces to enhance community safety.
- CDL-10.9 Building Materials. Use high-quality, natural building materials that evoke a sense of quality and permanence, such as stucco, plaster, stone, and wood; natural colors and textures are preferred.
- CDL-10.12 Architectural Detail. While recognizing sensitivity to budget, require publicly visible sides of a building to contain architectural detail and façade articulation, strong patterns of shade and shadow, and integrated architectural detail; blank walls are discouraged.
- ED-1.1 Employment and Revenue Focus. Invest public resources and exercise discretionary land-use authority to support the retention, expansion, and attraction of businesses that generate a higher number of jobs per acre and higher net municipal revenues per acre.
- ED-1.4 Available Sites and Buildings Inventory. Partner with property owners, real estate brokers, utility companies, and other stakeholders to maintain an inventory of sites and buildings available for office, medical, educational, and industrial uses.
- ED-2.1 Retail Sales Growth. Invest in the retention, expansion, and attraction of retail businesses (including dining, shopping, and entertainment) in economic sectors that are underrepresented in Yucaipa.

Processing and Procedural Actions:

Notices of the Project were sent to all surrounding property owners of the project site, and no responses were received.

Environmental Review:

The project site is located within a developed and urbanized portion of the City. Pursuant to Section 15332 (Class 32 – Infill Development) and 15305 (Class 3 – Minor Alterations in Land Use Limitations) of the CEQA Guidelines, the proposed project qualifies for a Categorical Exemption from environmental review.

The Class 32 exemption applies because the project constitutes infill development that is consistent with the City's General Plan policies and zoning regulations for the Service Commercial (CS) Land Use District. The project site consists of approximately 0.39 acres, which is less than the five-acre maximum threshold for the exemption, and is substantially surrounded by existing urban development, including commercial uses, roadways, and related infrastructure. The Variances proposed qualifies under Section 15305 of the CEQA Guidelines, as the Variances would result in minor land use modification associated with the parking lot and building setback, but would not result in any new environmental impacts from the Project.

The site is vacant, previously disturbed, and does not contain habitat for endangered, rare, or threatened species. No environmentally sensitive habitat areas are present on or adjacent to the site. The proposed development will not result in significant effects related to traffic, noise, air quality, or water quality. The project involves a low-intensity, service-oriented commercial use that is compatible with surrounding development and does not introduce substantial new vehicle trips or operational impacts.

CONCLUSION:

The proposed Conditional Use Permit is consistent with the CS Official Land Use District and the General Plan and Development Code standards for that District, except for parking and building setback standards, which are addressed through separate Variance findings. The Project otherwise meets standards for access, lot size and dimension, setbacks, and site design. The required findings for approval of the Conditional Use Permit have been made and are attached.

Attachments:	Conditional Use Permit Findings
	Variance Findings
	Land Use District & Location Map
	Site Photos
	Conditions of Approval
	Project Plans
	Project Statement of Operations

FINDINGS: CONDITIONAL USE PERMIT NO. PLN-PHE-25-0014

1. The proposed Project will not have a significant impact on the environment since the Project is characterized as in-fill development that is considered to be consistent with the general plan policies and zoning regulations for the Service Commercial (CS) Land Use District.

The proposed jewelry store qualifies for a Class 32 (In-Fill Development) Categorical Exemption pursuant to CEQA Guidelines Section 15332 because the Project is located on a vacant site of less than five acres within a fully urbanized area of the City and is surrounded by existing commercial development. The Project is consistent with the General Plan land use designation and is a permitted retail use within the Service Commercial (CS) Land Use District, and no General Plan Amendment or zone change is required. The site has no value as habitat for endangered, rare, or threatened species, and the proposed low-intensity retail use would not result in any significant effects related to traffic, noise, air quality, water quality, or public services. The Project site is adequately served by existing public infrastructure and utilities, and no unusual circumstances exist that would result in a significant environmental impact; therefore, the Project is categorically exempt from further environmental review under CEQA Guidelines Section 15332. In addition, the proposed Variances are exempt from environmental review pursuant to Section 15305 of the CEQA Guidelines, as the minor modifications to land use limitations does not create any significant environmental impacts, and instead reflect the effort to develop a constrained parcel layout.

2. The site for the proposed use is adequate in size and shape to accommodate the proposed use and all yards, open spaces, setbacks, walls and fences, parking areas, loading areas, landscaping, and other features pertaining to the application.

The site is adequate in size and shape to accommodate the proposed use and all required site features. The subject property consists of an irregularly shaped, triangular parcel totaling approximately 0.39 acres. The proposed jewelry retail use is consistent with the Service Commercial (CS) Land Use District and is permitted subject to approval of a Conditional Use Permit. The proposed two-story building contains approximately 3,216 square feet of floor area, representing approximately 19 percent of the total site area. The remaining portions of the site are devoted to landscaped open space, internal circulation, parking areas, walls, and fencing necessary to support the proposed development. The project provides seven (7) on-site parking spaces, which requires approval of a Variance from the standard requirement of 13 parking spaces. As described in the applicant's statement of operations, the proposed use is a low-intensity, service-oriented retail operation that does not generate parking demand comparable to higher-intensity commercial uses. Despite the site's irregular configuration and limited acreage, the proposed site layout efficiently accommodates all required development features and supports orderly development consistent with the intent and development standards of the Service Commercial (CS) Land Use District, subject to approval of the requested entitlements. Variances are requested for the street side yard setback and parking requirements, which allow for the maximum use of the site and its functionality.

3. The site for the proposed use has adequate access, meaning that the site design incorporates street and highway limitations.

The site has adequate vehicular and pedestrian access to support the proposed use. Vehicular access is provided from Outer Highway Street via a clearly defined ingress and egress driveway that connects directly to the on-site parking and internal circulation area. The site plan incorporates an in-and-out driveway configuration designed to allow vehicles to enter and exit the site safely and efficiently while minimizing conflicts with adjacent traffic movements. The driveway location and circulation pattern have been designed in consideration of roadway classifications, traffic volumes, and the site's proximity to Interstate 10 and the eastbound off-ramp. The internal circulation system provides adequate maneuvering space for passenger vehicles and emergency access and avoids dead-end aisles or unsafe turning movements. Pedestrian access to the site is provided through new sidewalk improvements that connect the building entrances to adjacent public rights-of-way along Outer Highway Street. These improvements establish a safe and continuous pedestrian pathway between the site, on-street parking areas, and surrounding commercial development, and are designed to comply with applicable accessibility standards.

4. The proposed use will not have a substantial adverse effect on abutting property or the permitted use thereof, meaning that the use will not generate excessive noise, vibration, traffic, or other disturbance. In addition, the use will not substantially interfere with the present or future ability to use solar energy systems.

The proposed use will not have a substantial adverse effect on abutting properties or the permitted use thereof. The jewelry retail and accessory office uses are low-intensity, indoor commercial operations that do not generate excessive noise, vibration, traffic, glare, odors, or other disturbances typically associated with higher-intensity commercial or assembly uses. Operational characteristics of the proposed use, including limited staffing levels, controlled customer volumes, and primarily appointment-based transactions, further reduce the potential for impacts to surrounding properties. Business activities will be conducted entirely within an enclosed building, minimizing off-site effects and ensuring compatibility with adjacent commercial development. The project site is located within an established Service Commercial (CS) Land Use District, where similar commercial uses are anticipated and supported. The proposed use is consistent with surrounding land uses and will not adversely affect existing or future commercial operations in the vicinity. In addition, the project will not substantially interfere with the present or future ability of surrounding properties to utilize solar energy systems. Building placement, height, and orientation have been designed to avoid unreasonable shading impacts, and the project does not preclude the installation or operation of solar energy systems on adjacent parcels.

5. The proposed use is consistent with the goals, policies, standards, and maps of the General Plan and any applicable plan.

The proposed use is consistent with the goals, policies, standards, and land use designations of the City's General Plan and any applicable plans. The project supports the General Plan's objectives for the efficient use of commercially designated land, infill development of underutilized and vacant commercial parcels, and the promotion of service-oriented businesses that meet local economic needs in the City of Yucaipa. The project involves the development of a vacant Service Commercial (CS) Land Use District site with a two-story, approximately 3,216-

square-foot building accommodating a professional jewelry retail establishment and an accessory lease space. As described in the applicant's Statement of Operations, the jewelry store will function as a low-intensity, appointment-supported professional service, offering jewelry sales, design, repair, appraisals, and related services, with limited staffing and controlled customer volumes. The Service Commercial (CS) Land Use District is intended to accommodate a range of service-oriented commercial uses that are compatible with surrounding development.

6. The lawful conditions stated in the approval are deemed necessary to protect the public health, safety, and general welfare.

The conditions of approval imposed on the project are lawful and are deemed necessary to protect the public health, safety, and general welfare. The conditions address, among other things, site design, vehicular and pedestrian circulation, parking management, landscaping, architectural quality, lighting, security measures, and operational characteristics of the proposed use.

Collectively, these conditions ensure that the project is developed and operated in a safe, orderly, and compatible manner, consistent with the intent of the Service Commercial (CS) Land Use District and the City's adopted standards and policies. The conditions further ensure ongoing compliance with applicable codes and regulations and provide appropriate safeguards to minimize potential impacts on surrounding properties and public rights-of-way.

7. The design of the site has considered the potential for the use of solar energy systems and passive or natural heating and cooling opportunities.

As discussed in CUP Finding No. 3, the design of the site has considered the potential for the use of solar energy systems and passive or natural heating and cooling opportunities. Building orientation, massing, and setbacks have been designed to allow for adequate solar access while maintaining compatibility with surrounding properties and uses. The proposed development does not preclude the future installation of solar energy systems on the subject property or on adjacent parcels. The project is consistent with the City's sustainability, energy-efficiency, and renewable energy objectives and does not substantially interfere with the present or future ability of surrounding properties to utilize solar energy systems.

FINDINGS: Variance

1. The granting of this variance will not be materially detrimental to other properties or land uses in the area and will not substantially interfere with the present or future ability to use solar energy systems.

Pursuant to Yucaipa Development Code Section 87.0165(a), retail uses such as jewelry stores are required to provide one parking space for every 250 square feet of gross floor area. Based on the proposed building size of approximately 3,216 square feet, a total of 13 parking spaces would ordinarily be required. The granting of the requested parking Variance will not be materially detrimental to surrounding properties or land uses. The proposed jewelry retail use is a low-intensity commercial use when compared to assembly uses, sit-down restaurants, or health care facilities, and is anticipated to operate on an appointment-based model with limited staffing and

controlled customer volumes. The seven (7) on-site parking spaces are reserved primarily for customer use, while employee parking will be accommodated through available on-street parking along Outer Highway 10. Additional on-street parking capacity is available immediately adjacent to the site to accommodate occasional overflow demand without adversely affecting surrounding properties or public rights-of-way. This segment of Outer Highway 10 ends at the City limits, and therefore features substantially lower traffic volumes than other roadways that service the City's commercial land use districts. Also, the granting of the Variance to reduce the required side yard setback from 10 feet to 3.3 feet will not be materially detrimental to other properties or land uses in the vicinity. The reduced setback is necessitated by required sidewalk dedication and the resulting adjustment to the property line.

2. There are exceptional or extraordinary circumstances or conditions applicable to the property or to the intended use that do not apply to other properties in the same district or vicinity.

Exceptional and extraordinary circumstances apply to the subject property that do not apply to other properties within the Service Commercial District. These circumstances include the site's irregular, triangular configuration, limited lot area (approximately 0.39 acres), and adjacency to Interstate 10, the eastbound off-ramp, and Outer Highway 10 South. These physical constraints significantly limit the ability to provide standard parking layouts without compromising site safety, circulation, or building functionality. The reduced parking configuration is a direct result of these site-specific conditions and is not self-created. The unique configuration and location of the parcel distinguish it from larger, regularly shaped commercial lots within the same district. The mandatory right-of-way dedication reduces the effective buildable area of the parcel and results in an adjusted property line from which setbacks must be measured pursuant to Yucaipa Development Code Section 84.0355(d). After application of the required dedication, the remaining side yard setback measures approximately 3.3 feet, creating a practical constraint in complying with the CS zoning district's 15-foot side yard requirement. The request for the Variance therefore arises from City-imposed public infrastructure requirements unique to this corner property and not from the actions of the applicant. These circumstances constitute a special condition affecting the property that justifies consideration of the requested setback reduction. Further, the project site is located along two roadway frontages and Interstate 10, and with the triangular shape, is therefore unique in its design and features constraints that are specific for only this property.

3. The strict application of the land use district deprives such property of privileges enjoyed by other properties in the vicinity or in the same land use district.

The strict application of the Service Commercial parking standards would deprive the subject property of privileges enjoyed by other commercially zoned properties in the vicinity. Larger, regularly shaped parcels within the Service Commercial (CS) District are able to accommodate required parking without undue hardship, whereas the subject site's limited size and irregular configuration would effectively preclude reasonable commercial development if the full parking requirement were imposed. As proposed, jewelry retail use does not generate significant customer parking demand due to its low-intensity, appointment-based operational model. Granting the requested Variance allows the property to be developed with a permitted service-commercial use that is consistent with surrounding development patterns and the intent of the CS District, thereby

affording the subject property development opportunities comparable to those enjoyed by other properties within the same land use district. The required CS zoning district's 10-foot side yard setback requirement would deprive the development property of privileges allowed by other properties in the same land use district. Due to the mandatory public right-of-way dedication required to implement adopted General Plan circulation standards, the effective buildable area of the parcel is reduced. As setbacks must be measured from the adjusted property line following dedication, strict enforcement of the 15-foot side yard requirement would unduly restrict reasonable commercial development of the site. Approval of the Variance allows the property to be developed in a manner consistent with other commercially zoned properties in the vicinity that are not subject to the same right-of-way constraints, thereby restoring comparable development opportunity without increasing the intensity or density otherwise permitted in the CS district. For reference, a similar type of site, which is located across the street and features the "Subway" restaurant, has a separate parcel owned by the California Department of Transportation adjacent to the street, but is not designated as right of way, which allows that project to use the 0-foot interior side yard setback.

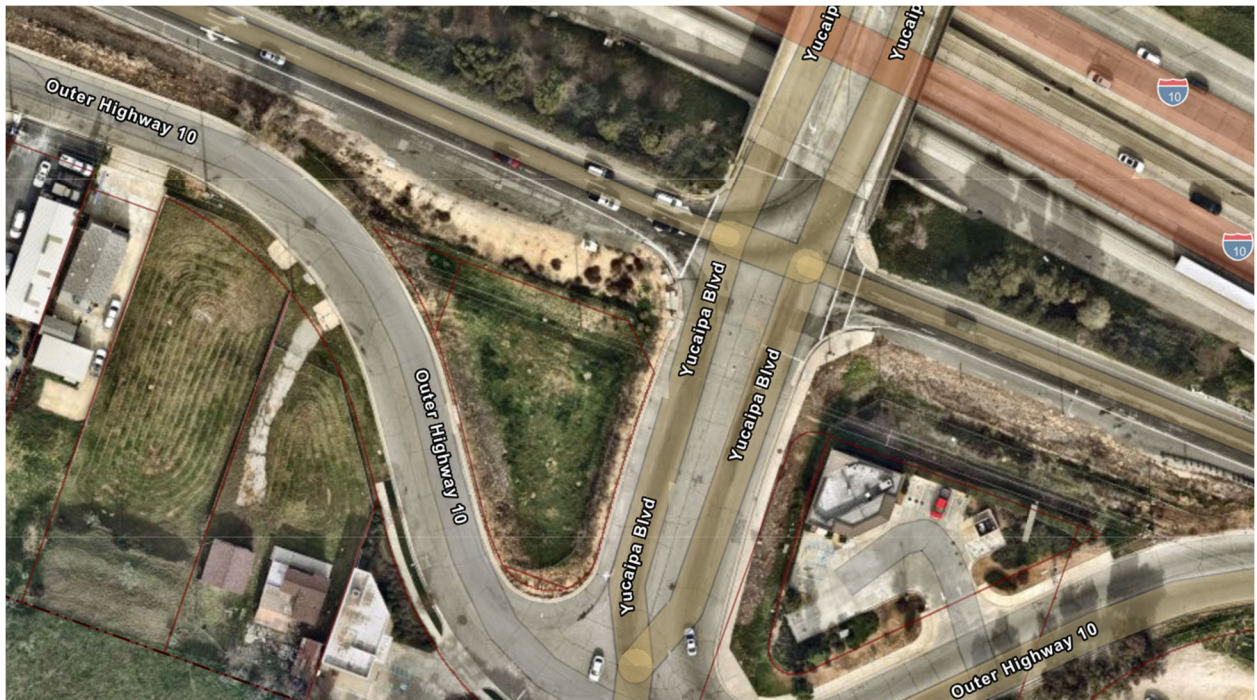
4. The granting of the variance is compatible with the objectives, policies, general land uses, and programs specified in the City's General Plan and any other applicable plan.

The granting of the parking Variance is consistent with the objectives, policies, and land use designations of the City's General Plan and any other applicable plans. The General Plan encourages the efficient use of commercially designated land, infill development, and flexible site design where physical constraints exist, particularly for underutilized commercial parcels. The proposed parking reduction supports the redevelopment of a vacant commercial site within the Service Commercial (CS) Land Use District with a service-oriented use that is compatible with surrounding commercial development. The project promotes orderly and efficient development, maintains adequate vehicular access and circulation, and does not generate adverse impacts to surrounding land uses. The site design is consistent with the City's Design Guidelines, as parking areas are appropriately located and buffered through perimeter and interior landscaping, which reduces visual impacts and enhances the overall site appearance. As designed and conditioned, the project balances parking needs with site constraints while maintaining a high-quality commercial environment. Accordingly, the requested Variance is consistent with the City's long-term planning goals, land use policies, and design objectives. The granting of the Variance to reduce the required side yard setback from 15 feet to 3.3 feet is compatible with the objectives, policies, general land uses, and programs specified in the City's General Plan and any other applicable plan. The requested setback reduction accommodates the mandatory public right-of-way dedication required to implement the Circulation Element's roadway improvement standards, while still allowing reasonable commercial development of the proposed jewelry store and office building consistent with the Service Commercial (CS) land use designation. The Variance does not modify the permitted land uses, increase development intensity or density, or conflict with adopted land use policies. Rather, it facilitates implementation of required General Plan infrastructure improvements while ensuring the project remains consistent with the City's Service Commercial (CS) zoning regulations and the goals and policies of the General Plan.

LAND USE: SERVICE COMMERCIAL (CS)



LOCATION



SITE PHOTOS



Google, January 2024



Google, January 2024



Applicant Name: John Ozasi (Higginson Architects)
Case No. PLN-PHE-25-0014
Conditions of Approval; February 18, 2025

CONDITIONAL USE PERMIT

CONDITION – Note: The **gold** header which each Condition falls under is the timing metric for establishing when that Condition shall be satisfied.

**DATE SATISFIED &
STAFF INITIALS**

ON-GOING CONDITIONS/GENERAL REQUIREMENTS:

PLANNING DIVISION (909) 797-2489 EXT. 224

1. This Conditional Use Permit (CUP) is to allow the construction and operation of a new two-story retail store totaling approximately 3,216 square feet. The project includes a primary jewelry retail operation of approximately 2,720 square feet and a separate realty office space of approximately 753 square feet within the same building footprint. A Variance is requested to allow a reduction in required on-site parking and landscaping area. The project also includes a Lot Merger between two adjoining parcels (Assessor's Parcel Numbers 300-131-19-25 and 300-131-26), combining approximately 0.39 acres into a single parcel for development purposes.
2. The project shall be developed, operated, and maintained in substantial conformance with the approved plans and the Business Operations Narrative dated November 20, 2025. Any substantial change to the approved use, intensity, or operational characteristics shall require Planning Director review and approval, or Planning Commission approval if deemed necessary.
3. The applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any claim, action or proceeding attacking or seeking to set aside, void or annul the approval of all or part of the matters applied for, or any other claim, action or proceeding relating to or arising out of such approval. This obligation includes the obligation to reimburse the City, its agents, officers and employees for any court costs or attorney fees which the City, its agents, officers, or employees are required by a court to pay as a result of such claim, action or proceeding. The City agrees to notify the applicant of any such claim, action or proceeding promptly after the City becomes aware of it. The City may participate in the defense of the claim, action or proceeding, but such participation will not relieve the applicant of applicant's defense and indemnification obligations, including City expenses.
4. This Conditional Use Permit shall become null and void if all conditions have not been complied with and the occupancy or use of the land has not taken place within three (3) years of the date of approval. One extension of time, not to exceed three (3) years, may be granted upon written request and submittal of the appropriate fee not less than 30 days prior to the date of expiration. **PLEASE NOTE:** this will be the only notice given for the above



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Case No. PLN-PHE-25-0014
Conditions of Approval; February 18, 2025

specified expiration date. The applicant is responsible for the initiation of an extension request.	
5. A Categorical Exemption is being issued for this project, pursuant to the California Environmental Quality Act of 1970 and the CEQA Guidelines, as amended. The applicant/owner shall deliver a \$50.00 administrative handling fee to the Planning Division within five (5) days after the effective date of conditional approval. Payments shall be made with a Check, Money Order or Cashier's Check for \$50.00 made payable to the "Clerk of the Board" . The Planning Division shall then file the Notice of Exemption with the Clerk. Proof of fee payment will be required prior to issuance of building permit	
6. The applicant/owner shall always maintain in good condition all permanent plantings as identified on the approved landscape plan, as well as all exterior finishes, and architectural and site design elements.	
7. All new utility lines serving the site shall be placed underground. Existing overhead distribution lines shall be placed underground when four (4) or more utility poles on the same street are located on or adjacent to the project site.	
8. Mail delivery shall be by neighborhood boxes or other delivery as approved by the U.S. Postal Service.	
9. All signs proposed by this project may only be lit by steady, stationary, shielded light directed at the sign, by light inside the sign, by direct stationary neon lighting or by an alternating lighting system that changes no more than once per hour. The glare from the luminous source shall not exceed one-half (0.5) foot candle	
10. Parking and on-site circulation requirements shall be maintained at all times. A. A total of seven (7) on-site parking spaces shall be maintained at all times, including one (1) accessible parking space, and shall not be reduced or reconfigured without City approval. B. All markings to include parking spaces, directional designations, "No Parking" designations, and "Fire Lane" designations shall be clearly defined and said markings shall be maintained in good condition at all times. C. Parking and site circulation surfaces (City Road Specification #39) shall be maintained in good condition at all times.	



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D. The retail store tenant shall work to best maintain appointment scheduling practices to ensure that the on-site parking demand does not exceed the (7) seven available parking capacity. E. Prior to occupancy of the lease space, the tenant use shall be reviewed and approved by the Planning Director to confirm that the use: • Is permitted by the underlying zoning, and • Does not exceed the parking demand of the justification of the parking variance.	
11. The jewelry store shall maintain controlled access features, including a double-buzzer entry system and bullet-resistant glazing, consistent with the approved security plan.	
12. All trash and recyclable materials shall be stored within a fully enclosed, permanent trash enclosure constructed in substantial conformance with the approved site and building plans. • The trash enclosure shall: • Be constructed of durable masonry materials (e.g., CMU or equivalent); • Be architecturally compatible with the primary building in terms of materials, color, and finish; • Include solid, opaque gates constructed of metal or other durable materials, painted or coated to match the enclosure. The trash enclosure walls and gates shall be of sufficient height to fully screen trash containers from public view, but in no case less than six (6) feet in height. The enclosure shall be located to: • Provide convenient access for site occupants; • Allow safe and efficient access for refuse collection vehicles without backing into public rights-of-way; • Avoid interference with required parking spaces, drive aisles, fire access, or pedestrian circulation. All refuse generated at the premises shall at all times be stored in approved containers and shall be placed in a manner so that visual and public health nuisances are minimized.	



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13.	All refuse containing garbage shall be removed from the premises at least two times per week in conformance with Municipal Code Section 8.24.030(B).	
14.	The applicant shall implement the approved "Solid Waste Recycling Plan" for any new commercial, industrial, or institutional uses located on the property. The developer and all occupants of the property shall make a good faith effort to fully comply with each component of the approved Plan. Any proposed revision to this Plan shall be subject to the review and approval of Yucaipa Disposal, Inc. (909) 797-9125.	
15.	Developers of commercial/industrial/institutional projects shall attempt to ensure that at least 20% of the total cost of the project shall be spent with Yucaipa businesses and/or the hiring of Yucaipa residents.	
16.	The project site shall remain in full compliance with all City Sign Regulations at all times.	
17.	The applicant/property owner shall be required to apply an anti-graffiti coating, and/or provide a landscape design of a type and nature that is acceptable to the City Planner, to each of the publicly viewable surfaces deemed by the City Planner to be likely to attract graffiti.	
18.	The applicant/property owner, and any and all successors in interest, shall for ten (10) years after the issuance of a Certificate of Occupancy, provide the City with sufficient matching paint and/or anti-graffiti coating on demand for use in the painting over or removal of graffiti from any designated graffiti attracting surfaces.	
19.	New projects with a landscape area of 500 square feet or more shall comply with Sections 492.6(a)(3)(b) (c), (d) and (g) of the MWELD including the use of renewable organic waste products such as compost and mulch where applicable.	
20.	Compost and mulch made by the City's franchised hauler, Yucaipa Disposal, Inc. (909) 797-9125, or other designee from recovered organic waste products pursuant to 14 CCR Section 18993.1 shall take precedence over inorganic or virgin forest products when available locally.	
21.	All conditions of this Conditional Use Permit are continuing conditions. Failure of the applicant and/or operator to comply with any or all of said conditions at any time may result in the revocation of the permit granted to use the property.	



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| 22. | This project is protected by the Yucaipa Fire Department/CalFire. Prior to any construction occurring on any parcel, the applicant shall contact the Fire Marshal for verification of current fire protection development requirements. All new construction shall comply with the adopted California Fire Code and all applicable statutes, codes, ordinances, standards and policies of the Yucaipa Fire Department/ CalFire. | |
| 23. | Fire Department access roads and/or public/private streets shall meet the Fire Department minimum width standard of twenty-four (24) feet. Within FR zones, minimum width shall be twenty-six (26) feet. Access roads shall be paved (asphalt/concrete) and in place prior to placement of combustible material on site. Fire Department minimum paving thickness shall be no less than four (4) inches. This standard shall not lessen other agency requirements. | |
| 24. | Fire Department access roads and/or public/private streets and residential driveways shall have a minimum vertical clearance of thirteen (13) feet and six (6) inches. | |
| 25. | Fire Department access roadways and/or public/private streets and driveways shall not exceed 10% grade (please note: Engineering Division requirements may be more restrictive). | |
| 26. | Required fire flow for this project, as determined by California Fire Code Appendix 'B', is as follows: GPM = 2,500 at 20 psi residual; for 2-hour duration A reduction in the required fire flow rate may be allowed per the exceptions specified in the California Fire Code. System shall be looped with minimum eight (8) inch mains; six (6) inch laterals; six (6) inch risers; six (6) inch diameter hydrants with one 2 ½" outlet and one 4" outlet. | |
| 27. | Approved fire hydrants capable of supplying required fire flow shall be provided to all premises upon which facilities, buildings or portions of buildings are constructed or moved within the jurisdiction. When any portion of the facility or building protected is in excess of 400 feet from a fire hydrant on a public street, as measured by an approved route around the exterior of the facility or building, additional fire hydrants meeting the required fire flow shall be provided. | |
| 28. | Fire hydrants shall be installed at locations to be determined by the California Fire Code (2025) Appendix "C". Required fire flow to be determined by the California Fire Code (2025) Appendix "B". Minimum fire flow shall not be less than 1500 gpm. | |



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| 29. | Submit WQMP Plan for Approval. | |
| 30. | The natural drainage courses traversing the site shall not be occupied or obstructed. | |
| 31. | Applicant shall demonstrate that the site does not create concentrated discharges to adjacent properties and/or public right-of-way in excess of historical flows. If project does create concentrated or sheet flows off-site that are greater than historical, the applicant shall demonstrate that the downstream facilities can accommodate flows; otherwise, applicant shall provide on-site detention for excess flows in accordance with the approved WQMP. | |
| 32. | Adequate provisions shall be made to intercept and conduct the tributary drainage flows around or through the site in a manner which will not adversely affect adjacent or downstream properties at the time the site is developed. | |
| 33. | Road sections within and/or bordering the project shall be designed and constructed with curbs, gutters, and sidewalks to City Road Standards, and in accordance with the General Plan Circulation Element. | |
| 34. | Final improvement plans and profiles shall indicate the location of any existing utility facility which would affect construction. Existing utility poles shall be shown on the improvement plans and relocated as necessary without cost to the City. | |
| 35. | A thirty-five (35) foot radius of return grant of easement is required for rounding the corner of intersecting roads when the half-width right-of-way of any intersecting road is forty (40) feet or greater. A twenty (20) foot radius of return grant of easement is required for rounding the corners of intersecting roads if the half-width right-of-way of all intersecting roads is less than forty (40) feet. | |
| 36. | Continuous water spraying or other approved methods must be used during grading operations to control fugitive dust. | |
| 37. | Pursuant to the Yucaipa Municipal Code, developer shall reimburse the City for the developer's fair share of the City's costs, as determined by the City Engineer, for the City's cost to underground distribution/communication utilities as required by any City approved Capital Improvement Project and/or any requirements as they relate to underground utility districts. | |



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THE FOLLOWING CONDITIONS SHALL BE MET PRIOR TO ISSUANCE OF A GRADING PERMIT:

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| 38. | Grading permits shall not be issued for any areas to be graded and remain undeveloped until a revegetation plan is approved by the Planning Division and Landscape Architect, and until bonds are posted for revegetation. | |
| 39. | No archaeological work is required; however, if prehistoric or historic artifacts over 50 years of age are encountered during land modification, then activities in the immediate area of the finds shall be halted and an on-site inspection performed by a qualified archaeologist, to assess the find, determine its significance, and make recommendations for appropriate mitigation measures. For more information, contact the County Museum at 909-307-2669. If human remains are encountered on the property, then the San Bernardino County Coroner's Office MUST be contacted within 24 hours of the find, and all work halted until a clearance is given by that office and any other involved agencies. Contact the County Coroner at 175 South Lena Road, San Bernardino, CA 92415-0037 or (909) 387-2543. | |

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| 40. | Applicant shall submit a Notice of Intent and comply with the requirements of the General Construction Activity Storm Water Permit from the State Water Resources Control Board if the project site is 1 acre or greater. In addition, the Storm Water Pollution Prevention Plan (SWPPP) is required to be submitted to the City Engineer for review and approval. | |
| 41. | Groundwater pollution from urban run-off water generated by the project shall be mitigated using various structural and non-structural best management practices (BMPs), per the requirements of the California Regional Water Quality Control Board, Santa Ana Region and/or as indicated in the "New Development/Redevelopment Guidelines." All provisions of the Water Quality Management Plan (WQMP) consistent with the 2010 MS4 permit and most recent regulatory mandates shall be met, including but not limited to approval of a Preliminary WQMP. | |
| 42. | Grading plans shall be submitted to Engineering for review and approval. | |
| 43. | The applicant shall provide documentation indicating that the WQMP, grading plan, erosion control plan and landscape plan are consistent with each other. The documentation shall indicate that each document has been reviewed by the applicant for consistency. | |
| 44. | The applicant's plans indicate approximately 56% of the site to be improved with impervious surfaces. Design features shall be included to direct storm | |



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	water run-off flows into landscaped pervious areas before any run-off flows into public rights-of-way.	
45.	In addition to the drainage, traffic related, or other requirements stated herein, other “on-site” or “off-site” improvements may be required which cannot be determined from tentative plans at this time and would have to be reviewed after more complete improvement plans and profiles have been submitted to the City Engineer.	
46.	A thorough evaluation of the structural road section, to include parkway improvements, from a qualified materials engineer, shall be submitted to the Engineering Division.	
47.	Existing City roads which will require reconstruction shall remain open for traffic at all times, with adequate detours, during actual construction. A cash deposit may be required to cover the cost of grading and paving. Upon completion of the grading and paving to the satisfaction of the Engineering Division, the cash deposit will be refunded.	
48.	Prior to signing of the improvement plans, any proposed grading within the road right-of-way shall be done under the direction of a Soils Testing Engineer, hired by the applicant. Compaction tests of embankment construction, trench backfill, and all subgrades shall be performed at no cost to the City. Prior to placement of any base materials, and/or paving, a written report shall be submitted by the applicant’s engineer to the City Engineer for review and approval.	
49.	A topographic map shall be provided to facilitate the design and review of necessary drainage facilities at the time the site is developed.	
50.	Additional dedication is required to provide half-width right-of-way to back of proposed sidewalk along Hilltop Drive. A copy of the Grant Deed for all properties affected by this requirement must be submitted to the City Engineer prior to document preparation.	
THE FOLLOWING CONDITIONS SHALL BE MET PRIOR TO ISSUANCE OF A BUILDING PERMIT:		
PLANNING DIVISION (909) 797-2489 EXT. 224		
51.	The enrollment of the Yucaipa Joint Unified School District is severely impacted by new development. To mitigate the impact of this project, developer shall pay such taxes as are required by the Yucaipa Joint Unified School District Community Facilities District No. 1, and any other fees assessed by Government Code Section 53080, and 65995-65997.	
52.	The City of Yucaipa has implemented development impact fees for various infrastructure and capital facilities needs generated by new development.	



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	These fees will provide for various capital facilities including, but not limited to, roads, parks, flood control and drainage, public facilities, and fire fighting facilities. This project shall be subject to all such development impact fees which are in effect at the time building permits are issued.	
53.	Water service shall be provided by Western Heights Water Company. Submit evidence of service to Building and Safety at time of Building Permit review .	
54.	Verification of application for sign registration and plot plan approval by the Planning Division must be submitted prior to the issuance of a building permit for the installation, wiring, remodeling or reconstruction of any sign or portion thereof which requires a building permit.	
55.	The applicant shall submit a "Solid Waste Recycling Plan" for review and approval. This Plan shall address two (2) principal recycling programs: 1) the recycling of construction waste/debris during the demolition and/or development phase of the project, and 2) the recycling of the solid waste that is generated daily by each proposed use during the operational phase of the project. The construction waste component shall include: complete information on the individual or firm that will be responsible for implementing the recycling plan; complete information on all proposed recycling facilities that will receive waste products; and estimates of the volume or weight of each type of material that will be recycled. The operational waste component shall include: complete information on the location, access, sizes, and numbers of solid waste and recycling bins needed to serve each proposed use that is located within the project. For information on the types of waste disposal services that are available, you may contact Yucaipa Disposal, Inc. at (909) 797-9125 for assistance.	
56.	Proof of fee payment of Fish and Game fees and/or County Administrative handling fees pursuant to California State Assembly Bill 3158 shall be submitted .	
57.	Provide detailed building elevations including materials, finishes, colors, and signage for all buildings for Planning Division review and approval prior to issuance of building permits. Building elevations shall be consistent with those approved by the Planning Commission.	
58.	The applicant/property owner shall grant to the City, in writing, the irrevocable right of entry over, and access to, such property, upon twenty-four (24) hours' posted notice, by authorized City employees or agents, for the purpose of removing or painting over graffiti on any designated graffiti attracting surfaces.	
59.	In lieu of sewers, if connection and service are unavailable, then septic system(s) may be allowed pursuant to the following conditions:	



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A. Soil percolation reports for private sewage disposal systems shall be approved by San Bernardino County Public Health Department, Environmental Health Services Division (909) 387-4666. An approved report shall be submitted to the City of Yucaipa Building and Safety Division at time of Plan Check. B. Written clearance for waste discharge shall be obtained from the designated California Regional Water Quality Control Board (listed below) and a copy forwarded to the Planning Division. Santa Ana Region, 3737 Main Street, Ste. 500, Riverside, CA 92501-3339, (909) 782-4130. C. Dry sewers shall be installed at time of septic system installation. Within three (3) months of sewer line availability, the project shall hook-up to sewer and abandon the use of the septic system."	
60. Prior to the issuance of any building permits, the applicant shall obtain City approval and record a Lot Merger for Assessor's Parcel Numbers 300-131-19-25 and 300-131-26, combining approximately 0.39 acres into one legal parcel. No building permits shall be issued until the Lot Merger has been approved, recorded, and verified by the City	
<u>FIRE DEPARTMENT (909) 797-2489 EXT. 246</u>	
61. Water delivery system plans, designed to meet the required fire flow for this project and/or development shall be submitted to the Fire Department for approval.	
62. Applicant-developer shall provide the Fire Department with a letter from the water company serving the project-development, verifying that financial arrangements have been made and bonds posted for the required Fire Department approved water improvements.	
63. A fuel break of one hundred (100) feet (brush and weed clearance) is required prior to construction. The clearance shall be maintained on a year-round basis.	
64. Fire hydrants shall be installed and operational as per approved water system delivery plans prior to any framing, construction, or delivery of combustible materials to project site.	
<u>BUILDING AND SAFETY (909) 797-2489 EXT. 263</u>	



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65.	When local sewer is not available, A Santa Ana Regional Water Quality Management District septic system approval is required. Once approved, a separate building permit is required.	
66.	This project will require one or more building permits. Permits will require a complete permit application and complete building plans to be submitted for approval prior to commencement of work.	
67.	This project shall comply with the latest requirements as set forth in the latest editions of the California Green Code, California Energy Code, California Accessibility Code, California Building Code, California Electrical Code, California Mechanical Code, California Plumbing Code, City of Yucaipa Municipal Code, San Bernardino County Environmental Health Service codes/regulations, and any other agency's codes/regulations that may govern this project.	
68.	Site development shall be designed to comply with California Accessibility Codes. Provide access to all entrances and exterior ground floor exits and access to normal paths of travel, and where necessary to provide access. Paths of travel shall incorporate (but not limited to) exterior stairs, landings, walks and sidewalks, pedestrian ramps, curb ramps, warning curbs, detectable warnings, signage, gates, lifts and walking surface material. The accessible route(s) of travel shall be the most practical direct route between accessible building entrances, site facilities, accessible parking, public sidewalks, and the accessible entrance(s) to the site. California Building Code (CBC) 11B.	
69.	This project shall comply with the latest requirements as set forth in the latest editions of the California Green Code, California Energy Code, California Accessibility Code, California Building Code, California Electrical Code, California Mechanical Code, California Plumbing Code, City of Yucaipa Municipal Code, San Bernardino County Environmental Health Service codes/regulations, and any other agency's codes/regulations that may govern this project. a. City of Yucaipa enforces the State of California provisions of the California Building Code disabled access requirements. The Federal ADA standards differ in some cases from the California State requirements. It is the building owner's responsibility to be aware of those differences and comply accordingly. b. Disabled access parking shall be located on the shortest accessible route. Relocate parking spaces accordingly.	



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70.	Separate submittals and permits are required for all structures, accessory structures such as, but not limited to, trash enclosures, patios, trellises, gazebos block walls, signage, and storage buildings	
71.	Pursuant to California Business and Professions Code Section 6737, this project is required to be designed by a California licensed architect or engineer	
72.	Prior to Building and Safety approving building final and the issuance of a Certificate of Occupancy all conditions shall be satisfied and final approval signatures from all required city departments, and/or other governing bodies having jurisdiction, shall be present on the Approved Permit Inspection Record or Job Card.”	
73.	A digital copy of a Landscape Documentation Package shall be submitted through the Yucaipa Permit Exchange for review and approval by the City’s Contract landscape Architect. Building Permits for the land use shall not be issued until Landscape Documentation has been approved. Said Landscape Documentation Package shall be consistent with the requirements of Chapter 4, of Division 10, of the Development Code and include all of the following elements: A. Project Information (1) Date (2) Project Applicant (3) Project Address (if available, parcel and/or lot number(s)) (4) Total Landscape Area (square feet) (5) Project Type (e.g., new, rehabilitated, public, private, cemetery, homeowner-installed) (6) Water Supply Type (e.g., potable, recycled, well) and identify the local retail water purveyor if the applicant is not served by a private well (7) Checklist of All Documents in Landscape Documentation Package (8) Project Contacts (to include contact information for the project applicant and property owner)	



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(9) Applicant Signature and Date (with statement, “I agree to comply with the requirements of the water efficient landscape ordinance and submit a complete Landscape Documentation Package”).

(B) Water Efficient Landscape Worksheet

(1) Hydrozone Information Table

(2) Water Budget Calculations

(I) Maximum Applied Water Allowance (MAWA)

(II) Estimated Total Water Use (ETWU)

(C) Soil Management Report

(D) Landscape Design Plan

(E) Irrigation Design Plan

(F) Grading Design Plan

(G) Certification of Substantial Completion (to be submitted after installation of the project).

A copy of the approved Landscape Documentation Package shall be provided to the property owner or site manager along with the record drawings and any other information normally forwarded to the property owner or site manager. A copy of the Water Conservation Concept Statement and the Certificate of Substantial Completion shall be sent by the project manager to the local retail water purveyor.

74. A digital copy of a landscape and irrigation plan prepared by a Registered Landscape Architect for the planting (drought tolerant landscaping shall be utilized to minimize water consumption) and permanent irrigation system for the development, including setback areas and parkways, shall be submitted to the Building & Safety Division through the Yucaipa Permit Exchange for review and approval by the City’s Contract Landscape Architect. **Building Permits shall not be issued until Landscape Documentation has been approved.** Said plans must be consistent with the City of Yucaipa Landscape Design and Installation Guidelines and include the following details:



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- A. Voltage boxes, mailboxes, trash enclosures, maintenance structures, backflow devices, automatic controls, air conditioning/heating units, etc., to be shown on the plan and screened with landscaping and/or decorative fencing/trim.
- B. A permanent automatically-controlled irrigation system.
- C. Palm trees are prohibited for this project. All trees shall be selected from the following approved species list and shall be consistent with the approved landscape plans:
- *Quercus virginiana* (Southern Live Oak)
 - *Cedrus deodara* (Deodar Cedar)
 - *Quercus suber* (Cork Oak)
 - *Sequoiadendron giganteum* (Giant Sequoia)

Substitution of tree species shall require review and approval by the Planning Division and shall be limited to species of comparable mature size, canopy coverage, drought tolerance, and suitability to the local climate and soil conditions.

- D. Landscaping shall consist of drought tolerant vegetation appropriate to the local climate. Trees, shrubs and ground covers in the following quantities shall be required as follows:
1. Compost

Compost shall be incorporated into all permeable landscaped areas at a minimum rate of four (4) cubic yards per 1,000 square feet of permeable area and shall be incorporated to a depth of six (6) inches. Soils containing greater than six percent (6%) organic matter in the top six (6) inches of soil, as verified by a soils report, shall be exempt from compost amendment and tilling requirements.
 2. Tree planting (15 gallon size):
 - a. 1 for each 600 sq. ft. of total landscaped area (one required, minimum);
 - b. 80% of total trees required to be 15 gallon;
 3. Box Trees (24 to 96 inch box trees):



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- a. Twenty percent (20%) of the total number of required trees shall be 24-inch to 96-inch box size (one required minimum)..
4. Trees shall be spaced and located as follows:
 - a. small trees: 20 feet O.C. max.;
 - b. large trees: 30 feet O.C. max.;
 - c. street trees: 15 gal. min./30 feet O.C. max.;
 - d. min. 6 feet from curbs, paving and sidewalks; trees in parkway between sidewalk and curb shall be provided with a linear root barrier.
Trees located within parkways between sidewalks and curbs shall be provided with a linear root barrier.
5. 5 gallon shrubs:
 - a. 60% of total shrubs required to be 5 gallon;
 - b. 10 for each 300 sq. ft. of landscaped area.
6. 1 gallon shrubs:
 - a. 40% of total shrubs required.
7. Ground Cover:
 - a. Drought tolerant adapted when mature, or native;
 - b. Maximum spacing: 12 inches O.C., or as suitable for planting material;
 - c. Hydroseeding (establish recommended mixture); specify weight or volume per unit area.
- E. Parking/vehicular circulation areas screened with landscaped berms adjacent to streets.
- F. Landscape detail of trash enclosures, to be located within 200 ft. of building pad.
- G. All walls and fences shall be shown, at the top of slope (if applicable), with the style, design, materials, and colors indicated.
- H. All landscaping shall be permanently maintained in a healthy, neat, and weed-free condition. Any dead, dying, or damaged plant material shall be replaced with like species and comparable size consistent



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with the approved landscape plan within thirty (30) days, unless extended by the Planning Director due to seasonal constraints.

- I. Detector-check valve assembly screening and camouflage, which shall include landscaped berms and/or depressions, shrub screening, and the painting of the equipment to match the landscaping. The height of the equipment shall not exceed the minimum ground clearance established by the applicable code. It is not permitted to be located within the front yard building setback area, unless otherwise approved by City Inspector.
- J. Design features to direct storm water run-off into landscaped pervious areas to achieve percolation into the ground before run-off flows reach the public right-of-way

- 75. Compost and mulch made by the City's franchised hauler, Yucaipa Disposal, Inc. (909) 797-9125, or other designee from recovered organic waste products pursuant to 14 CCR Section 18993.1 shall take precedence over inorganic or virgin forest products when available locally.

SUBJECT PROPERTY SHALL NOT BE OCCUPIED AND/OR USED FOR PURPOSES APPLIED FOR UNTIL THE FOLLOWING CONDITIONS HAVE BEEN MET:

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- 76. "NO PARKING" shall be clearly designated in areas of bus parking and turnaround.
- 77. Parking and on-site circulation requirements shall be provided for as identified on the approved site plan.
- 78. All access drives and parking areas shall be surfaced with a minimum of 2 inches of asphalt concrete surfacing, City Road Specification No. 39, which shall be appropriately striped to accommodate safe vehicular circulation.
- 79. All access drives shall be a minimum of 24 feet wide to facilitate two-way traffic.
- 80. All parking stalls shall be clearly striped and permanently maintained with double or hairpin lines on the surface of the facility, with the two lines being located an equal nine (9) inches on either side of the stall sidelines; arrows shall be painted on the paving to indicate direction of traffic flow.
- 81. Any lights used to illuminate the site shall be hooded and designed so as to reflect away from adjoining properties and public thoroughfares.
- 82. All landscaping and irrigation shown on the approved landscape and irrigation plans and all required walls shall be completed. Trees in the



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	parkway between sidewalk and curb/gutter shall be provided with a linear root barrier. Provide the City with a Certificate of Substantial Completion from the certified professional that prepared the approved landscape and irrigation plans.	
83.	All roof top mechanical equipment is to be screened from ground vistas.	
84.	Developers of commercial/industrial/institutional projects shall submit a report detailing the percentage of project costs spent in the City of Yucaipa. At a minimum, this report shall contain a list of local businesses/individuals that have been solicited for bids and/or received contracts for materials or services.	
85.	Developers of commercial, industrial, or institutional projects shall submit all applicable documentation that is required to verify the volume of weight of each type of construction waste or debris that has been recycled or otherwise disposed of in a lawful manner.	
86.	Developers shall ensure that they recycle and/or salvage for reuse a minimum of 65 percent of the nonhazardous construction and demolition waste.	
87.	Prior to issuance of a Certificate of Occupancy, the applicant shall install and maintain security systems including: • Video surveillance covering entries, parking areas, and interior spaces • Motion, glass-break, and vibration sensors • Monitored alarm system with panic buttons	
88.	The premises shall be equipped with a monitored intrusion and robbery alarm system, including panic buttons at sales counters, connected to a licensed alarm monitoring service.	
89.	High-value merchandise shall be stored in burglary-rated safes or vaults when the business is closed. Safes shall be securely anchored and not visible from public areas.	
90.	Exterior lighting shall be provided around the building perimeter, entrances, and rear service areas to enhance visibility and security, and shall be designed to avoid glare onto adjacent properties or the public right-of-way.	
<u>FIRE DEPARTMENT (909) 797-2489 EXT. 246</u>		
91.	Driveways exceeding 150 feet shall have a Fire Department approved turn-around at the terminus (hammer-head tee).	



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92.	Fire Department access roadways and/or public/private streets and driveways shall extend to within one hundred fifty (150) feet of and shall give reasonable access to all portions of the exterior walls of the first story of any building. An access road, approved by the Fire Department, shall be provided to within fifty (50) feet of all structures when the natural grade between access road and structure is in excess of 30%. Where an approved access road cannot be provided, a fire protection system shall be required and approved by the Fire Department.	
93.	Address numbers shall be placed on all new and existing commercial and multi-family residential structures in such a manner as to be plainly visible and legible from the access roadway or street. Structures shall have numbers of 8" height, 3/8" stroke on contrasting background. Address numbers shall be illuminated so as to be visible and legible from access roadway or street. Industrial occupancies shall have address numbers of 12" height, 1/2" stroke and shall be illuminated so as to be visible and legible from access roadway or street. Where structure setback exceeds one hundred (100) feet from the access roadway or street, additional non-illuminated numbers are 6" in height, 3/8" stroke, on contrasting background shall be displayed at property access entrance.	
94.	Commercial retail structures with rear access shall place address numbers on rear entry doorways, 4" in height, 3/8" stroke, on contrasting background.	
95.	"No Parking - Fire Lane" signs shall be posted at locations designated by Fire Marshall. Fire lane curbs shall be painted red with white letters stating "No Parking – Fire Lane".	
96.	Approved fire hydrant pavement markers shall be installed.	
97.	Automatic fire sprinklers shall be installed according to NFPA 13 and Fire Department requirements. Submit three (3) sets of shop plans with material cut sheets and hydraulic calculations, indicating the type of occupancy, type of materials to be stored (if any), for Fire Department review and approval prior to any installation. Submit copy of California C-16 license.	
98.	Automatic fire sprinkler control devices (P.I.V. & O.S.&Y.) shall be visible from Fire Department access roadway, and identify system being controlled and address of structure. Fire Department Connection (FDC) shall be located no closer than fifty (50) feet and not to exceed one hundred fifty (150) feet from structure. Required fire hydrant shall have a maximum distance from FDC of thirty (30) feet. FDC shall identify address and system of structure being protected.	
99.	A minimum of one 2A-10BC fire extinguisher shall be installed for each 3,000 sq. ft. of floor area. Travel distance to any one fire extinguisher shall not	



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exceed 75 feet. Additional fire extinguishers, size and class to be determined by Fire Department, may be required. Fire extinguishers shall be serviced annually and shall have a current sfm service tag attached.	
100. An automatic fire detection and alarm system meeting the requirements of CFC, CBC and NFPA 72 shall be installed. Shop plans with material cut sheets and calculations shall be submitted to the Fire Prevention Department for review and approval prior to installation.	
101. The main electrical panel and all sub-panels shall be labeled on inside cover for all circuits.	
102. Water heater (fuel fired) shall be properly vented to exterior of structure. Water heater shall be seismic strapped to wall and be located 18" above a garage floor.	
103. Commercial and industrial structures/occupancies and gated complexes shall have a "knox box" system installed on the exterior of the buildings or complex. Location of device to be determined by the Fire Department. The box shall contain keys necessary to gain access and may contain pre-plans and SDS information as required by the Fire Department.	
104. Commercial exit requirements: A. Required exit doors shall be maintained in an operable condition at all times. B. Required exit doors shall swing outward and away in the direction of exit travel. C. Obstructions shall not be placed in the required width of an exit. Exits shall not be blocked or locked shut or obstructed in any manner during business hours. D. Exit paths shall be illuminated when structure is occupied. E. Exit path illumination shall be supplied from two (2) sources of power when occupant load is one hundred (100) persons or more. F. When exit way/exit pathway and/or exit doorway is not easily identified, additional exit signs shall be installed. G. Exit signs shall be internally or externally illuminated by two lamps or shall be of the self-luminous type.	
ENGINEERING DIVISION (909) 797-2489 EXT. 228	
105. Construct sidewalk adjacent to site with landscaped parkway.	



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106.	Construct driveway approach/entrance. Commercial driveways require radius type approaches.	
107.	Developer shall be required to place construction traffic control in public right-of-way during the construction of off-site improvements. Traffic control devices shall be maintained 24 hours a day 7 days a week as directed by the City Engineer.	
108.	The Applicant shall submit the signed original Water Quality Management Plan (WQMP) Certification form to verify consistency of the BPMs shown on the as-built grading plans and landscape plans. In case of inconsistency, the Applicant shall revise the WQMP to match the as-built plans.	
109.	No parking shall be permitted along the property frontage on Hilltop Drive/Yucaipa Boulevard. On Outer Highway 10 South, no parking will be permitted wherever the half-street width to curb face is less than 22 feet. "No Parking Anytime" Signs are required to be installed by Property Owner wherever no parking is allowed, as described above.	

C:\Users\hjh\OneDrive\Documents\HJA\Project Folder\401 Commercial\401-037_Ozasi Jewelry Yucaipa\CAD\Revit\Ozasi Site-P24_V2.rvt 12/24/2025 7:17:25 AM

JEWELRY STORE & LEASE SPACE for JOHN OZASI

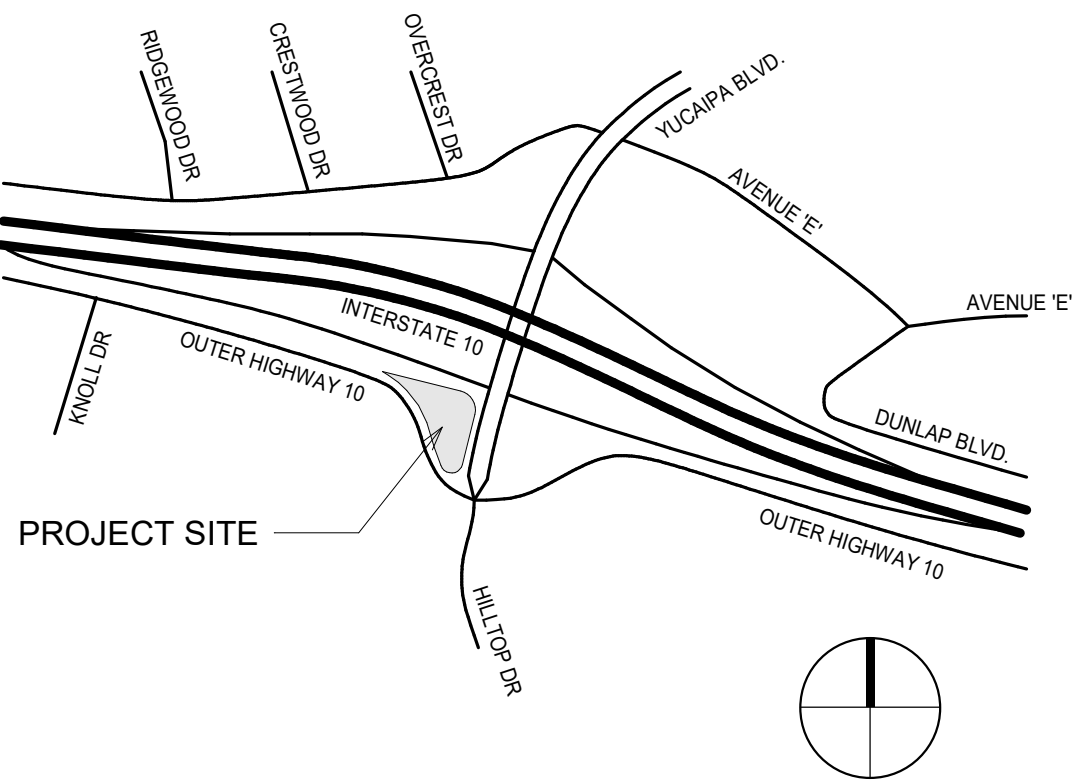
OUTER HIGHWAY 10 S & HILLTOP DRIVE
YUCAIPA, CALIFORNIA 92399
A.P.N. 0300-131-19, 25, & 26

KEYNOTE	DESCRIPTION
00.01	Concrete Paving
00.02	Asphalt Concrete Paving
00.03	Concrete Curb
00.04	Concrete Gutter
00.05	Concrete Drive Approach
00.06	Zero-Curb Face with Truncated Domes
00.07	Landscaped Area
00.09	CMU Retaining Wall
00.10	CMU Trash Enclosure with Metal Gates
00.13	Catch Basin Drain
00.14	Concrete Drain Swale
00.15	Accessible Parking Stall with Painted ISA
00.16	Accessible Parking Sign
00.17	Bicycle Rack
00.20	Accessible Entrance Sign
00.22	Proposed Septic System Location
00.23	Proposed Seepage Pit Location
00.24	Power Pole - Existing
00.25	Fire Hydrant - Existing
00.26	Street Light Standard - Existing

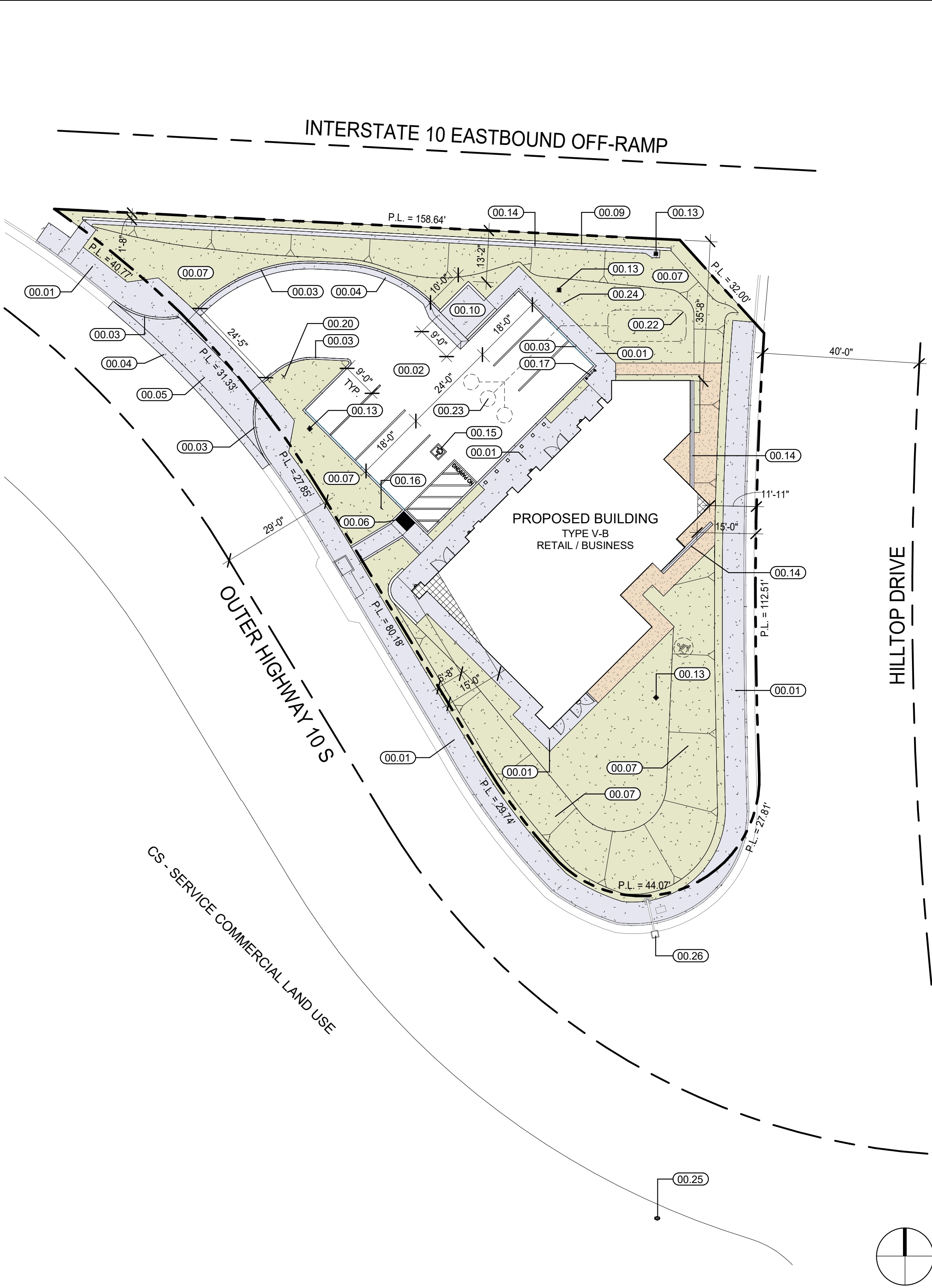
SITE PLAN KEYNOTES

	PROPOSED STRUCTURE
	VARIANCE: AREA OF ENCROACHMENT INTO SETBACK
	CONCRETE PAVING
	ASPHALT CONCRETE PAVING
	LANDSCAPED AREA
	DECOMPOSED GRANITE
	PROPERTY LINE
	CMU WALLS

SITE LEGEND



VICINITY MAP



PROPOSED SITE PLAN

OCCUPANCY CLASSIFICATION:	M - MERCANTILE & B - BUSINESS
CONSTRUCTION TYPE:	V-B
AUTOMATIC FIRE SPRINKLERS:	YES
HEIGHT:	28'-0" (45'-0" MAX. PER YDC 84.0533)
STORIES:	2
AREA:	3,921 SF
FIRST FLOOR:	3,216 SF
SECOND FLOOR:	705 SF
TOTAL OCCUPANCY:	32 PERSONS
MERCANTILE BUSINESS:	19 PERSONS
STORAGE:	11 PERSONS
EQUIPMENT:	1 PERSON
HOURS OF OPERATION:	
MONDAY - SATURDAY	11 AM - 7 PM

BUILDING DATA

ASSESSOR'S PARCEL NO.:	0300-131-19, 25, 26
ZONING / LAND USE:	CS - SERVICE COMMERCIAL
LOT SIZE:	17,157 SF (0.393 ACRES)
0300-131-19	15,858 SF (0.364 ACRES)
0300-131-25	174 SF (0.004 ACRES)
0300-131-26	1,125 SF (0.025 ACRES)
LOT COVERAGE	90% MAX. SITE, 65% MAX. BUILDING PER YUCAIPA DEVELOPMENT CODE 84.0355
BUILDING FOOTPRINT:	3,216 SF (18.75%)
CONCRETE:	2,942 SF (17.14%)
ASPHALT:	3,253 SF (18.96%)
CMU WALLS:	214 SF (1.25%)
LANDSCAPE AREA:	7,532 SF (43.90%)
SETBACKS PER YUCAIPA DEVELOPMENT CODE 84.0355	
FRONT:	15 FEET
REAR:	10 FEET
STREET SIDE:	15 FEET
LEGAL DESCRIPTIONS:	
0300-131-19	HILL TOP ACRES TRACT NO 2119 N 135 FT LOT 7 AND THAT PTN INTERSTATE 10 VAC ADJ ON N EX ST ***** 9-16-86 #86-267489 ST 5-2-94 #94-203046 HWY VAC *****
0300-131-25	HILLTOP ACRES PTN LOT 7 COM SE COR SD LOT 7 TH ALG SLY LI SD LOT 7 N 71 DEG 00 MIN 04 SECONDS W 107.90 FT TH N 19 DEG 01 MIN 00 SECONDS E 113.96 FT TH S 71 DEG 00 MIN 31 SECONDS E 14.59 FT TO THE POB TH CONT ON LAST SD COURSE S 71 DEG 00 MI
0300-131-26	TRACT 2119 HILLTOP ACRES PTN E 1/2 LOT 8 BEG NE COR PARCEL OF LAND CONVEYED TO STATE OF CALIF REC 8-25-86 #86-242098 AND #86-242099 TH ALG NLY LI SD PARCEL N 71 DEG 00 MIN 31 SECONDS W 21.72 FT TO NON-TANGENT CURVE SWLY AND HAVING RAD OF 25
PARKING CALCULATION:	
REQUIRED PARKING FOR GENERAL BUSINESS USE FOR OCCUPIED SPACES PER YDC 87.0815:	2,720 S.F. / 250 = 10.88 = 11 PARKING SPACES
PARKING PROVIDED UNDER THIS APPLICATION:	
STANDARD PARKING	6 STALLS
ACCESSIBLE PARKING	1 STALL (VAN ACCESSIBLE)
UTILITY PROVIDERS:	
ELECTRICAL:	
SOUTHERN CALIFORNIA EDISON	WESTERN HEIGHTS WATER COMPANY
287 TENNESSEE STREET	32352 AVENUE D
YUCAIPA, CALIFORNIA 92373	YUCAIPA, CALIFORNIA 92399
PHONE: 909-797-5116	PHONE: 909-797-2619
GAS:	
SOUTHERN CALIFORNIA GAS	NOT CURRENTLY SERVICED
COMPANY P.O. BOX 3003	
REDLANDS, CALIFORNIA 92373	
PHONE: 909-335-7928	
CABLE/INTERNET/TELEPHONE:	
FRONTIER COMMUNICATIONS	
34989 YUCAIPA BOULEVARD	
YUCAIPA, CALIFORNIA 92399	
PHONE: 909-798-3588	

SITE DATA

- A VARIANCE IS BEING REQUESTED WITH THIS APPLICATION FOR THE FOLLOWING ITEMS:
 - THE BUILDING CORNER ENCROACHES INTO THE SETBACK ALONG HILLTOP DRIVE BY 3'-2", RESULTING IN APPROXIMATELY 9.4 S.F. OF BUILDING AREA WITHIN THIS SETBACK.
 - THE BUILDING CORNER ENCROACHES INTO THE SETBACK ALONG OUTER HIGHWAY 10 S BY 8'-3", RESULTING IN APPROXIMATELY 64.9 S.F. OF BUILDING AREA WITHIN THIS SETBACK.
 - SITE CONSTRAINTS LIMIT THE AVAILABILITY OF OFF-STREET PARKING. 11 STALLS ARE REQUIRED, AND A TOTAL OF 7 CAN BE PROVIDED PER THE PARKING CALCULATION. ON-STREET PARKING SPACES ARE AVAILABLE ALONG OUTER HIGHWAY 10.
- NO RECORDED EASEMENTS EXIST FOR THIS PROPERTY.
- NO PROTECTED OR NATIVE TREES EXIST ON THE VACANT SITE.
- ANTICIPATED IMPORT AMOUNT FOR SITE DEVELOPMENT IS 1,920 CUBIC YARDS.

PROJECT NOTES

SHEET #	SHEET DESCRIPTION
01 GENERAL	
G001	COVER SHEET, PROPOSED SITE PLAN & PROJECT INFORMATION
02 CIVIL	
1	TITLE SHEET - PRELIMINARY GRADING PLAN
2	PRELIMINARY GRADING PLAN
03 LANDSCAPE	
LS-1	PRELIMINARY LANDSCAPE PLAN
04 ARCHITECTURAL	
A203	COLORLED EXTERIOR ELEVATIONS
A204	COLORLED EXTERIOR ELEVATIONS
TOTAL: 6	

SHEET INDEX

PROPERTY OWNER:

OZASI BUSINESS ENTERPRISE, INC.
22500 TOWN CIRCLE #2114
MORENO VALLEY, CALIFORNIA 92553
CONTACT: JOHN OZASI
PHONE: 909-363-5361
E-MAIL: johnozasi@gmail.com

ARCHITECT:

HIGGINSON ARCHITECTS, INC.
1177 IDAHO STREET, SUITE 200A
REDLANDS, CALIFORNIA 92374
CONTACT: DAVID HIGGINSON, AIA
PHONE: 909-797-1924
E-MAIL: dhigginson@higginsonarchitects.com

CIVIL ENGINEER

SITETECH, INC.
8061 CHURCH STREET
HIGHLAND, CALIFORNIA 92346
CONTACT: BERNHARD MAYER
PHONE: 909-864-3180
E-MAIL: bmayer@sitetechinc.com

LANDSCAPE ARCHITECT:

RICHARD POPE & ASSOCIATES
3687 VALENCIA AVENUE
SANN BERNARDINO, CALIFORNIA 92404
CONTACT: RICHARD POPE
PHONE: 909-888-5568
E-MAIL: richardpopeassociates.la@gmail.com

PROJECT DIRECTORY

PROJECT DESCRIPTION AND INTENT:

THIS APPLICATION SEEKS APPROVAL TO CONSTRUCT A NEW JEWELRY STORE WITH AN ATTACHED LEASE SPACE DESIGNED TO ACCOMMODATE FUTURE COMMERCIAL TENANTS. THE PROPOSED DEVELOPMENT WILL ENHANCE AN UNDERUTILIZED SITE WHILE PROVIDING VALUABLE RETAIL SERVICES TO THE COMMUNITY.

SITE IMPROVEMENTS:

THE PROJECT INCLUDES COMPREHENSIVE SITE DEVELOPMENT FEATURING A NEW DRIVEWAY APPROACH, PARKING LOT, PEDESTRIAN WALKWAYS, CURBS AND GUTTERS, A TRASH ENCLOSURE, AND LANDSCAPING ELEMENTS. SITE PREPARATION WILL REQUIRE GRADING AND FILL TO ESTABLISH PROPER BUILDING PAD ELEVATION, WITH MINOR RETAINING WALLS INSTALLED AT STRATEGIC LOCATIONS TO ENSURE PROPER DRAINAGE AND SITE STABILITY.

COMMUNITY BENEFITS:

UPON COMPLETION, THIS DEVELOPMENT WILL ACTIVATE A LONG-VACANT PROPERTY AND CREATE AN ATTRACTIVE GATEWAY FEATURE FOR RESIDENTS AND VISITORS ENTERING YUCAIPA FROM THE FREEWAY. THE PROJECT WILL CONTRIBUTE TO THE CITY'S ECONOMIC VITALITY WHILE PROVIDING A UNIQUE AESTHETIC TO COMPLEMENT THE COMMUNITY'S CHARACTER.

PROPOSED SCOPE OF DEVELOPMENT



**HIGGINSON
ARCHITECTS
INCORPORATED**

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REDLANDS, CALIFORNIA 92374
www.higginsonarchitects.com

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Licensed Professional:

JEWELRY STORE & LEASE SPACE

OUTER HIGHWAY 10 S & HILLTOP DRIVE
YUCAIPA, CALIFORNIA 92399
APN: 0300-131-19, 25, & 26

OZASI BUSINESS ENTERPRISE, INC.

22500 TOWN CIRCLE #2114
MORENO VALLEY, CA 92553

Project Information:		
Project Number:	401-037	
Drawn By:	BH	
Checked By:	DH	
Issued For:	PLANNING REVIEW	
Date Issued:	12/23/2025	

Revisions:		
No.	Description	Date

Sheet Name:

COVER SHEET,
PROPOSED SITE
PLAN & PROJECT
INFORMATION

Sheet Number:

G001

FILTERED RUNOFF. ALL RUNOFF SHALL BE FILTERED PRIOR TO DISCHARGING FROM A SITE OR TO ANY TYPE OF PRIVATE OR PUBLIC STORM WATER CONVEYANCE SYSTEM (NATURAL WATERCOURSES, STREETS, GUTTERS, CONCRETE-LINED V-DITCHES, STORM DRAINS, FLOW-LINES, INLETS, OUTLETS, ETC.). ALL NON-PERMITTED DISCHARGES ARE PROHIBITED FROM ENTERING ANY STORM WATER CONVEYANCE SYSTEM YEAR-ROUND.

BEST MANAGEMENT PRACTICES (BMP'S). YEAR-ROUND, POLLUTION PREVENTION MEASURES, ALSO KNOWN AS BEST MANAGEMENT PRACTICES (BMP'S), MUST BE INSTALLED PRIOR TO ANY FIELD ACTIVITIES. BMP HANDBOOKS CAN BE DOWNLOADED AT . ADDITIONAL EROSION PREVENTION AND SEDIMENT CONTROL (ESC) MEASURES MUST BE INSTALLED AND MAINTAINED PRIOR TO AND THROUGHOUT EACH RAINY SEASON. THE DEVELOPER/CONTRACTOR IS RESPONSIBLE FOR ESC MEASURES THROUGHOUT THE DURATION OF THE PROJECT FOR ALL CLEARING, DISKING, GRADING, EXCAVATING AND STOCKPILING ACTIVITIES, AND ON ALL EXPOSED SLOPES AND INACTIVE PADS THROUGHOUT THE ENTIRE SITE. THE DEVELOPER/CONTRACTOR IS ALSO RESPONSIBLE FOR ANY DISCHARGES FROM SUBCONTRACTORS.

EROSION AND SEDIMENT CONTROLS. ALL ESC MATERIALS SHALL BE INSPECTED, RESTORED, REPAIRED OR MODIFIED YEAR-ROUND THROUGHOUT THE SITE TO PROTECT PERIMETERS, ADJACENT PROPERTIES, ENVIRONMENTALLY SENSITIVE AREAS AND ALL PRIVATE/PUBLIC STORM WATER CONVEYANCE SYSTEMS. IF ANY EROSION OR SEDIMENT CONTROLS FAIL DURING ANY RAIN EVENT, MORE EFFECTIVE ONES WILL BE REQUIRED IN THEIR PLACE.

8. B. SEDIMENT CONTROLS: SEDIMENT CONTROLS SHALL INCLUDE, BUT ARE NOT LIMITED TO: DESILTING BASINS, GRAINED BERMS, FIBER ROLLS, SILT FENCES, GRAVEL BAG CHEVRONS (FILLED WITH MINIMUM W GRAVEL), CHECK DAMS, DRAINAGE INLET PROTECTION, ETC. FIBER ROLLS SHALL BE INSTALLED ALONG THE FACE OF THE SLOPE. THE SIZE AND SPACING IS DETERMINED BY THE SOIL TYPE, SLOPE STEEPNESS, DESIGN RAINFALL INTENSITY, AND SIZE OF AREA PROTECTED. SILT FENCE SHALL BE INSTALLED ALONG INTERIOR STREETS AND COMBINED WITH GRAVEL-BAG OR SILT FENCE CHEVRONS INSIDE THE SIDEWALK RIGHT-OF-WAY OR BACK OF CURBS.

PERIMETER PROTECTION. PERIMETER PROTECTION MUST BE INSTALLED PRIOR TO ANY CLEARING ACTIVITIES. CLEARING SHALL BE LIMITED TO AREAS THAT WILL BE IMMEDIATELY GRADED OR DISTURBED. A COMBINATION OF ESC MEASURES SHALL BE IMPLEMENTED IN AREAS THAT HAVE BEEN CLEARED. ALL DISTURBED AREAS OF AN INACTIVE SITE, AS DESCRIBED IN THE ENGINEERING AND CONSTRUCTION MANUAL, SHALL ALSO BE PROTECTED.

DESILTING BASINS. DESILTING BASINS SHALL BE DESIGNED ACCORDING TO THE GUIDANCE PROVIDED IN CASQA'S CONSTRUCTION BMP HANDBOOK. PONDED WATER SHALL BE SECURED FROM THE PUBLIC. SIGNAGE INDICATING "PONDED WATER - DO NOT ENTER", OR AN EQUIVALENT WARNING NOTICE SHALL BE POSTED.

CONSTRUCTION WASTE. CONSTRUCTION WASTE AND MISCELLANEOUS DEBRIS SHALL BE PLACED IN WATER-TIGHT BINS. WIRE MESH RECEPTACLES SHALL NOT BE ALLOWED. WASH-OUT STATIONS SHALL BE PROVIDED FOR CONCRETE, PAINTS, STUCCO AND OTHER LIQUID WASTE, AND SHALL BE LINED WITH PLASTIC AND LOCATED AWAY FROM PUBLIC RIGHT-OF-WAYS, FLOW LINES, ETC. PRIOR TO ANY FORECAST RAIN, BINS AND WASH-OUTS SHALL BE COVERED WITH LIDS OR PLASTIC TARPS.

PORTABLE MIXERS. ALL PORTABLE MIXERS SHALL HAVE PLASTIC LINERS UNDERNEATH THEM WITH GRAVEL-BAGS PLACED ON THE DOWN-HILL SIDE OF THE LINERS TO CONTAIN DISCHARGES.

OBSTRUCTIONS. NO OBSTRUCTIONS, OTHER THAN BMP'S, SHALL BE ALLOWED WITHIN ANY STORM WATER CONVEYANCE SYSTEM. UNLESS ALTERNATIVE DRAINAGE FACILITIES HAVE BEEN APPROVED BY THE CITY ENGINEER.

1. THE PERMITTEE IS RESPONSIBLE FOR DUST CONTROL.
2. SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.
3. THE LOCATION AND PROTECTION OF ALL UTILITIES IS THE RESPONSIBILITY OF THE PERMITTEE.
4. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT IN-PLACE ANY AND ALL EXISTING UTILITIES. ANY UTILITY REMOVALS OR RELOCATION'S SHALL BE PERFORMED BY THE APPROPRIATE UTILITY PURVEYOR. PHASED UTILITY RELOCATION'S MAY BE NECESSARY AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CLOSELY COORDINATE HIS ACTIVITIES WITH THOSE OF ALL UTILITY COMPANIES.
5. THE PERMITTEE SHALL GIVE REASONABLE NOTICE TO THE OWNER OF ADJOINING LANDS AND BUILDINGS PRIOR TO BEGINNING EXCAVATION WHICH MAY AFFECT THE LATERAL AND SUBJACENT SUPPORT OF THE ADJOINING PROPERTY. THE NOTICE SHALL STATE THE INTENDED DEPTH OF EXCAVATION AND WHEN THE EXCAVATION WILL COMMENCE. THE ADJOINING OWNER SHALL BE ALLOWED AT LEAST 30 DAYS AND REASONABLE ACCESS ON THE PERMITTED PROPERTY TO PROTECT HIS STRUCTURE, IF HE SO DESIRES, UNLESS OTHERWISE PROTECTED BY LAW.

SCALE: 1"=40'

1. CONSTRUCT A.C. PAVEMENT OVER BASE PER SOLS. ENGINEER'S RECOMMENDATIONS.
2. CONSTRUCT TYPE A1-150(6) 6" CONCRETE CURB PER S.P.P.W.C. STD. 120-2.
3. CONSTRUCT 6" CONCRETE CURB & GUTTER S.B. COUNTY STD. 116.
4. CONSTRUCT LONGITUDINAL GUTTER PER CITY OF YUCAIPA STD. 122-1. MODIFY TO 3' WIDE
5. INSTALL ADA DETECTABLE WARNING BUMPS PER ADA STANDARDS.
6. CONSTRUCT COMMERCIAL DRIVE APPROACH PER S.B. COUNTY STD. 129-B
7. CONSTRUCT SIDEWALK PER CITY STD. 115-2
8. CONSTRUCT 4" THICK CONCRETE PAVING OVER NATIVE.
9. CONSTRUCT GRADDED SWALE AT 1% MIN. GRADE OR 2% MIN. IF WITHIN 10' OF BUILDING.
10. INSTALL ADA PARKING SIGNAGE AND STRIPING AND PATH OF TRAVEL PER ADA STANDARDS.
11. CONSTRUCT TRASH ENCLOSURE PER ARCHITECTURAL PLANS.
12. INSTALL 12"x12" NDS CATCH BASIN WITH PLASTIC ATRIUM GRATE.
13. INSTALL 6" NDS SPEED-0 CATCH BASIN WITH PLASTIC ATRIUM GRATE
14. INSTALL 6" P.V.C. DRAIN PIPE AT 0.5% MINIMUM GRADE.
15. INSTALL 8" H.D.P.E. DRAIN PIPE AT 0.5% MINIMUM GRADE.
16. CONSTRUCT CURB OUTLET STRUCTURE PER S.B. COUNTY STD. 210.
17. CONSTRUCT RETAINING WALL PER ENGINEERED DETAILS AND SEPARATE PERMIT.
18. CONSTRUCT 12" WIDE BY 4" DEEP BY 3" THICK CONCRETE "V"-GUTTER.
19. CONSTRUCT 12" MAX DEEPENED CONCRETE EDGE PER DETAIL ON SHT. 2
20. CONSTRUCT STEM WALL PER ARCHITECTURAL PLANS.

JOHN OSAZ
6207 OUTER HIGHWAY
YUCAIPA, CA 92399
PH: 909-363-5361
E: johnozasi@gmail.com



1. ALL GRADING SHALL CONFORM TO APPENDIX J OF THE CALIFORNIA BUILDING CODE, 1. LATEST EDITION AND THE CITY OF YUCAIPA GRADING REQUIREMENTS.
2. ALL PROVISIONS OF THE PRELIMINARY SOILS REPORT BY: _____, DATED _____, SHALL BE COMPLIED WITH DURING GRADING OPERATIONS.
3. THIS PLAN IS FOR GRADING PURPOSES ONLY. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE APPROVAL OF DRIVEWAY LOCATIONS OR SIZES, PARKING LOT LAYOUT, BUILDING LOCATIONS, OFFSITE DRAINAGE FACILITIES OR OTHER ITEMS NOT RELATED DIRECTLY TO THE BASIC GRADING OPERATION.
4. CERTIFICATION (FORM PROVIDED BY CITY) FROM THE REGISTERED CIVIL ENGINEER AND SOILS/GEOLOGICAL ENGINEER STATING THAT THE ROUGH GRADING HAS BEEN COMPLETED PER THE APPROVED PLAN AND A COMPACTION REPORT FROM THE SOILS ENGINEER ON ANY FILL AREAS THAT ARE REQUIRED SHALL BE PROVIDED PRIOR TO BUILDING PERMITS BEING ISSUED.
5. CERTIFICATION (FORM PROVIDED BY CITY) FROM THE REGISTERED CIVIL ENGINEER STATING THAT THE FINE GRADING HAS BEEN COMPLETED PER THE APPROVED PLAN IS REQUIRED PRIOR TO OCCUPANCY PERMITS BEING ISSUED.
6. CONTRACTOR IS RESPONSIBLE FOR EROSION, DUST, MUD, SILT, DEBRIS, AND TEMPORARY DRAINAGE CONTROL DURING GRADING OPERATIONS.
7. AN EROSION CONTROL PLAN IS REQUIRED TO ISSUING A GRADING PERMIT BETWEEN OCTOBER 1ST AND MAY 1ST. (THE GRADING PLANS ARE TO NOTE THIS REQUIREMENT).
8. ANY ON-SITE RETAINING WALLS WILL REQUIRE APPROVAL AS PART OF THESE PLANS. ANY NECESSARY RETAINING WALLS ON THE PERIMETER OF THIS SITE MAY BE REQUIRED TO BE IN PLACE AND APPROVED BY THE CITY ENGINEER PRIOR TO THE START OF GRADING. APPROVED SEQUENCED GRADING WITH 1 1/2:1 MAXIMUM SLOPE TO WITHIN 2 FEET OF THE ADJACENT PROPERTY LINE MAY BE ACCEPTABLE TO ALLOW FOR START OF GRADING PRIOR TO COMPLETION OF ANY NECESSARY PERIMETER RETAINING WALLS.
9. ANY IMPROVEMENT CONSTRUCTED IN THE PUBLIC RIGHT-OF-WAY WILL REQUIRE SEPARATE PLAN APPROVAL AND INSPECTION FROM THE CITY ENGINEER.
10. ANY WALLS, FENCES, STRUCTURES AND/OR APPURTENANCES ADJACENT TO THIS PROJECT SHALL BE PROTECTED IN PLACE. IF GRADING OPERATIONS DAMAGE OR ADVERSELY AFFECT SAID ITEMS IN ANY WAY, THE CONTRACTOR/DEVELOPER IS RESPONSIBLE FOR WORKING OUT AN ACCEPTABLE SOLUTION TO THE SATISFACTION OF THE AFFECTED PROPERTY OWNER(S).
11. THE CONTRACTOR/DEVELOPER IS RESPONSIBLE FOR ENSURING THAT RETAINING WALLS DO NOT INTERFERE WITH PROVISION OF UTILITIES.
12. IT IS THE SOILS ENGINEER'S RESPONSIBILITY TO ENSURE THAT ADEQUATE COMPACTION HAS BEEN ATTAINED ON THE ENTIRE GRADING SITE, INCLUDING FILL AREAS OUTSIDE THE BUILDING PADS AND ON ALL FILL SLOPES.
13. CITY APPROVAL OF PLANS DOES NOT RELIEVE THE DEVELOPER FROM THE RESPONSIBILITY FOR CORRECTION OR ERROR OR OMISSION DISCOVERED DURING CONSTRUCTION. UPON REQUEST, THE REQUIRED PLAN REVISIONS SHALL BE PROMPTLY SUBMITTED TO THE CITY ENGINEER FOR APPROVAL.
14. IT SHALL BE CONTRACTOR'S RESPONSIBILITY TO CALL THE CITY AT (909) 797-2489 FOR INSPECTION TWO (2) WORKING DAYS PRIOR TO PERFORMING ANY WORK. WORK PERFORMED WITHOUT CALLING FOR INSPECTION SHALL BE REJECTED AND SHALL BE REMOVED SOLELY AT THE CONTRACTOR'S EXPENSE.
15. NO GRADING SHALL COMMENCE WITHOUT OBTAINING A GRADING PERMIT AND NOTIFYING THE GRADING INSPECTOR TO SCHEDULE A PRE-GRADING MEETING TWO (2) WORKING DAYS PRIOR TO THE START OF WORK.
16. ALL ACTIVE IRIGATION LINES ENCOUNTERED DURING CONSTRUCTION SHALL BE REPLACED WITH 10-GAUGE DOUBLE DIPPED AND WRAPPED WELDED STEEL PIPE.
17. PRIOR TO THE START OF GRADING, ALL EXISTING VEGETATION AND DEBRIS (INCLUDING EXISTING STRUCTURES, FOOTINGS, FOUNDATIONS, RUBBLE, TREES AND ROOT SYSTEMS) SHALL BE REMOVED FROM THE SITE TO THE SATISFACTION OF THE SOILS ENGINEER.
18. AFTER REMOVAL OF DEBRIS, ANY EXISTING FILL OR DISTURBED NATURAL SOILS SHALL BE EXCAVATED TO THE SATISFACTION OF THE SOILS ENGINEER.
19. THE EXPOSED SOILS SHALL THEN BE INSPECTED BY THE SOILS ENGINEER, AND ANY ADDITIONAL OVER-EXCAVATION SHALL THEN BE MADE IN ACCORDANCE WITH THE SOILS ENGINEER'S RECOMMENDATIONS AND AS CONTAINED IN THE SOILS REPORT.
20. THE EXPOSED SOILS SHALL THEN BE SCARIFIED TO A MINIMUM DEPTH OF 6 INCHES, BROUGHT TO PROPER MOISTURE CONTENT AND COMPACTED TO AT LEAST 90% OF THE MAXIMUM DENSITY, AS DETERMINED BY CALIFORNIA BUILDING CODE, APPENDIX J.
21. IF ANY UNFORESEEN SUBSURFACE STRUCTURES ARE ENCOUNTERED DURING CONSTRUCTION, THEY SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE SOILS ENGINEER BEFORE PROCEEDING FURTHER.
22. THE SOILS ENGINEER SHALL ALSO BE RESPONSIBLE TO VERIFY (CERTIFICATION FORM PROVIDED BY CITY) AND REPORT THAT PROPER COMPACTION HAS BEEN OBTAINED BY SUBCONTRACTORS AND AGENCIES CONCERNING UTILITY LINE BACKFILL (INCLUDING, BUT NOT LIMITED TO, SEWERS, WATER LINES, ELECTRICAL, GAS, AND LANDSCAPE IRRIGATION LINES).
23. AN AS-GRADED GRADING PLAN AND THE CERTIFICATE OF COMPLIANCE FORMS FOR SAID GRADING PLAN WITH THE PROPER STAMPS AND SIGNATURES ARE REQUIRED PRIOR TO THE CITY ENGINEER PRIOR TO RELEASE OF GRADING BOND AND PRIOR TO FINAL GRADING INSPECTION.
24. ANY DRIVE APPROACHES SHOWN ON THESE PLANS SHALL CONFORM TO CITY OF YUCAIPA STANDARDS. NOTE THAT 4" OF SIDEWALK AT 2% SLOPE SHALL BE MAINTAINED BEHIND DRIVE APPROACHES PER TITLE 24 REQUIREMENTS IF THERE IS NO LANDSCAPE PARKWAY.
25. THE CONTRACTOR SHALL CALL IN A LOCATION REQUEST TO UNDERGROUND SERVICE ALERT (USA), PHONE NUMBER 1-800-227-2600, TWO (2) WORKING DAYS BEFORE DIGGING, NO INSPECTION WILL BE PROVIDED BY THE CITY ENGINEER'S OFFICE, AND NO CONSTRUCTION PERMIT ISSUED INVOLVING EXCAVATION FOR UNDERGROUND FACILITIES WILL BE VALID UNLESS THE APPLICANT HAS BEEN PROVIDED AN INQUIRY IDENTIFICATION NUMBER BY USA.
26. SEPARATE PLANS FOR TEMPORARY DRAINAGE AND EROSION CONTROL MEASURES TO BE USED DURING THE RAINY SEASON MUST BE SUBMITTED PRIOR TO OCTOBER 1. THE EROSION CONTROL DEVICES SHOWN ON THE PLANS MUST BE INSTALLED BY NO LATER THAN NOVEMBER 1 AND MAINTAINED IN OPERABLE CONDITION UNTIL APRIL 15 AND/OR BEFORE ANY ANTICIPATED RAIN THROUGHOUT THE YEAR.

27. WE / I REPRESENTING _____ INDICATE THAT RECOMMENDATIONS CONTAINED IN REPORTS PERTAINING TO SOILS ENGINEERING CONDITIONS HAVE BEEN COMPLIED WITH TO OUR SATISFACTION. THIS CONFIRMATION IS NOT TO BE CONSTRUED AS AN AUTHENTICATION OF ANY DIMENSIONS OR ELEVATIONS SHOWN ON THESE PLANS.

29. TOPOGRAPHY OBTAINED FROM AERIAL SURVEY PERFORMED BY BY HILLWIG-GOODROW, INC. IN SEPTEMBER 2024.

ATTENTION: MR. BENJAMIN KELLY
TELEPHONE: (909) 797-2619

A PORTION OF LOTS 7 & 8 OF TRACT 2119,
RECORDED IN BOOK 30 OF MAPS, PAGES 54-58,
RECORDS OF SAN BERNARDINO COUNTY. (SEE
TITLE REPORT FOR FULL DESCRIPTION)

TOPOGRAPHIC MAPPING PREPARED BY AERIAL
SURVEY PERFORMED BY HILLWIG-GOODROW, INC.
IN SEPTEMBER 2024.

[illegible]

OZASI JEWELRY
CONCEPTUAL LANDSCAPE PLAN

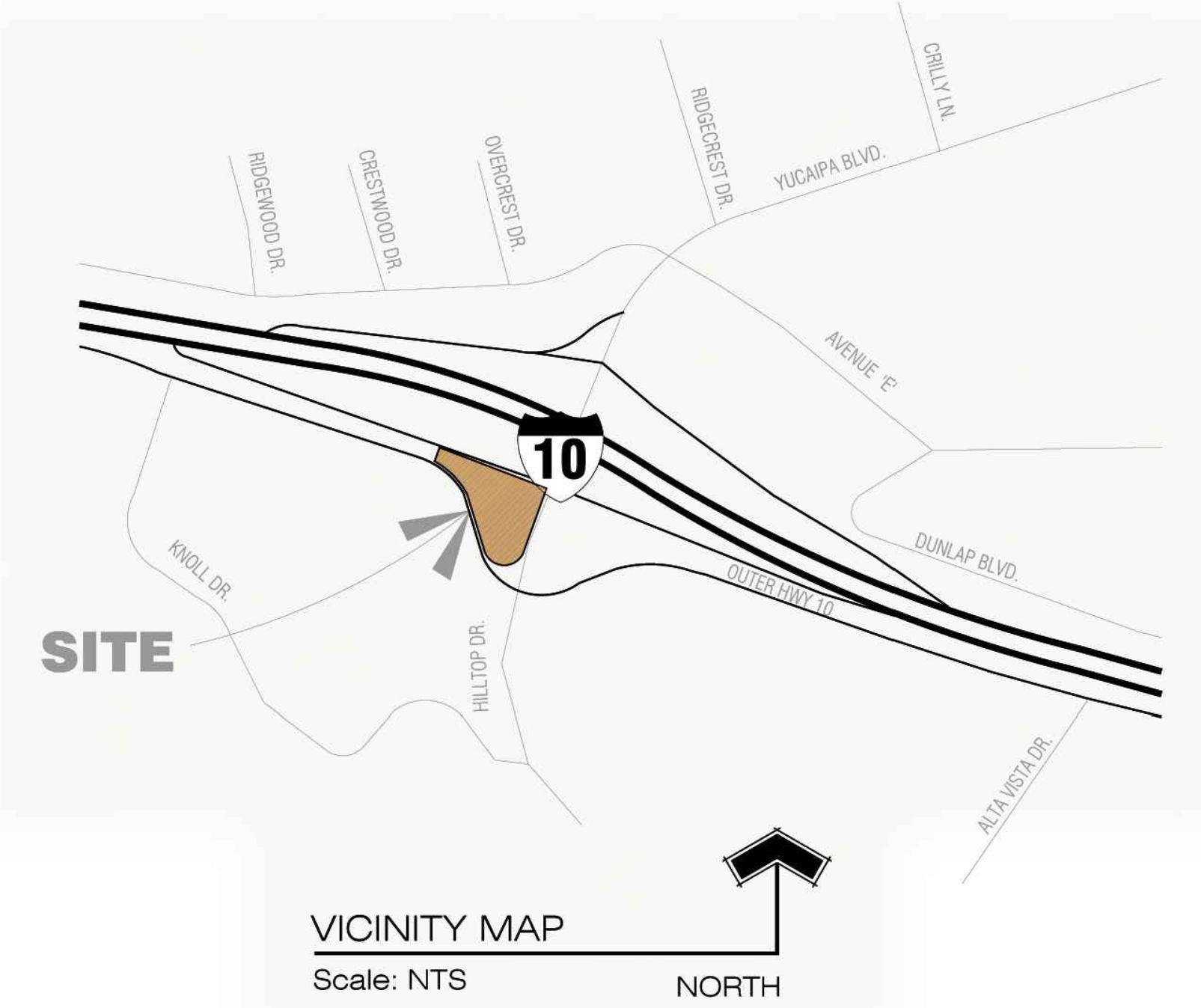
Hilltop Dr. & Outer HWY 10 S.
Yucaipa, CA 92394
APN: 0478-341-10-0000

Total Landscape Area: 7,532 Sq. Ft.

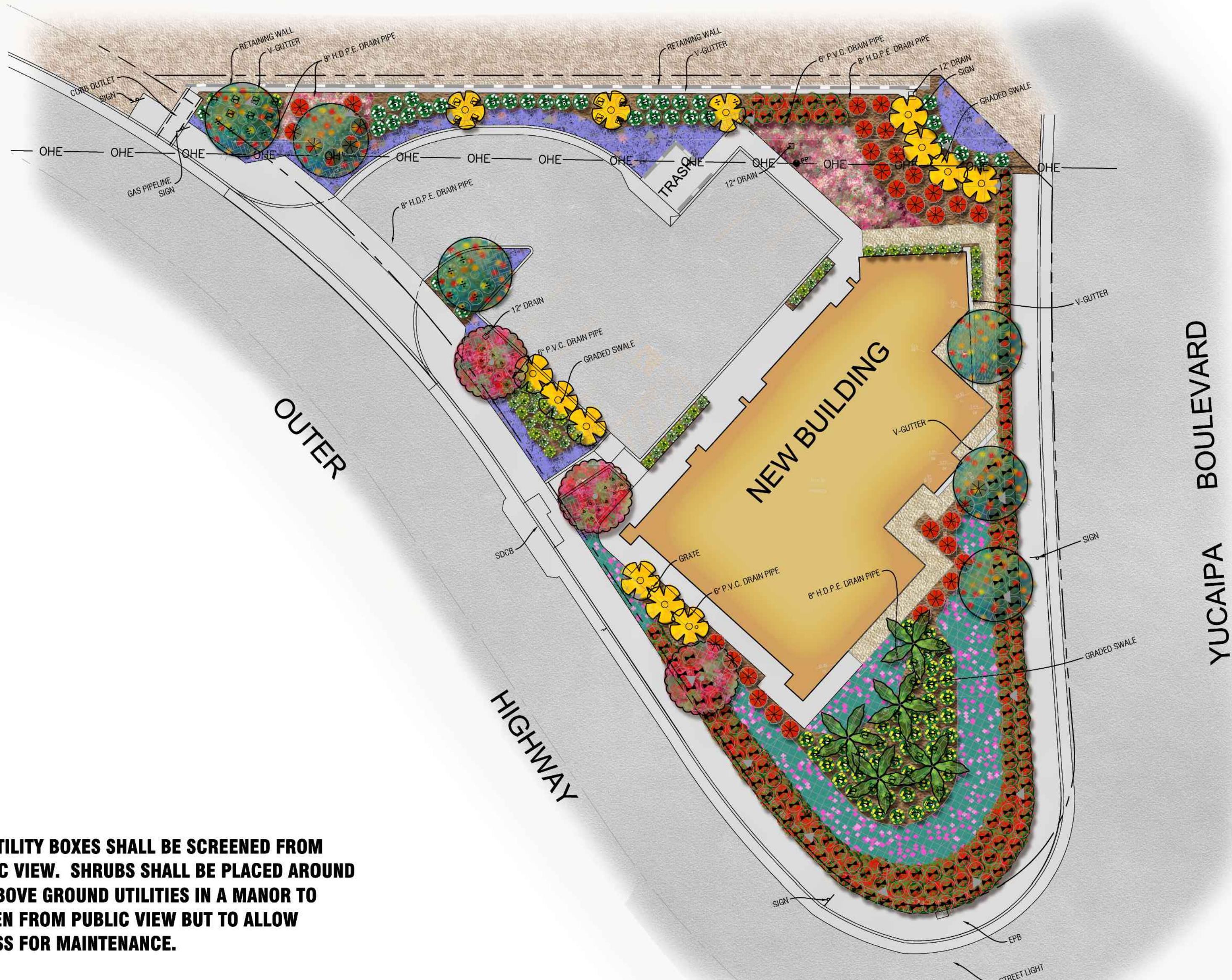
Applicant:
HIGGINSON ARCHITECTS, INC.
34247 Yucaipa Blvd., Suite D
Yucaipa, CA 92399
Contact: BRIAN HIGGINSON
Office: 909.797.1924
Cell: 909.754.8489
Email: bhigginson@higginsonarchitects.com

I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE CITY'S WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE

SIGN Richard Pope DATE 8/25/2025



EAST BOUND INTERSTATE 10 OFFRAMP TO YUCAIPA BOULEVARD



ALL UTILITY BOXES SHALL BE SCREENED FROM PUBLIC VIEW. SHRUBS SHALL BE PLACED AROUND ALL ABOVE GROUND UTILITIES IN A MANNER TO SCREEN FROM PUBLIC VIEW BUT TO ALLOW ACCESS FOR MAINTENANCE.

CONCEPTUAL PLAN
Scale: 1" = 16'
NORTH

Planting Legend

SYMBOL	QTY.	SIZE	BOTANICAL NAME	COMMON NAME	WUCOLS IV WATER USAGE	INTENDED MATURE SIZE (H x W)
	6	15 Gal.	Arbutus unedo 'Marina'	Marina Strawberry Tree	Low	25' H, Ø 12'
	5	12' Brown Trunk	Washingtonia x filibusta	Filabusta Fan Palms	Low	50' H, Ø 15'
	3	15 Gal.	Lagerstroemia indica x tauriel 'Arapaho'	Red Crepe Myrtle	Mod	15' H, Ø 15'
	13	15 Gal.	Tecoma stars - Tree Form	Yellow Trumpet Flower	Low	5' H, Ø 8'
	36	5 Gal.	Callistemon viminalis 'Little John'	Dwarf Bottlebrush	Low	3' H, Ø 4'
	64	1 Gal.	Rosa miniature - Yellow & White	Miniature Roses - Yellow & White	Mod	2' H, Ø 2'
	44	5 Gal.	Rosa floribunda 'Iceberg'	White Shrub Rose	Mod	4' H, Ø 3'
	145	5 Gal.	Rosa x 'Noare' P.P. #11,308	Red Flower Carpet Rose	Mod	2' H, Ø 3'
	68	5 Gal.	Rosa x 'Noalesa' P.P. #13,869	Yellow Flower Carpet Rose	Mod	3' H, Ø 3'
	1,216 Sq. Ft.	1 Gal. Pots 30" o.c.	Cistus salvifolius 'Prostratus'	Prostrate Sage-leaved Rock Rose	Low	18" H, Ø 5'
	467 Sq. Ft.	1 Gal. 30" o.c.	Grevillea 'Australora Fanfare'	Fanfare Grevillea	Low	1' H, Ø 10"
	821 Sq. Ft.	Flats 18" o.c.	Lavandula angustifolia 'Thumbelina Leigh'	Dwarf English Lavender	Low	1' H, Ø 1'
	570 Sq. Ft.		3" Thick Layer of Decomposed Granite	Color: Gold		

PLANTING NOTES:

NO SUBSTITUTIONS, SPECIES OR VARIETY. CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR ALL ISSUES RESULTING FROM SUBSTITUTIONS. DESIGN WAS CREATED USING EXACT VARIETY INDICATED.

IF SUBSTITUTIONS ARE NECESSARY, CONTRACTOR MUST CONTACT LANDSCAPE ARCHITECT FOR SUBSTITUTION APPROVAL.

A 3" DEEP LAYER OF SHREDDED BARK MULCH SHALL BE PLACED IN ALL PLANTING BEDS.

PLANT COUNTS ARE FOR BIDDING PURPOSES ONLY. CONTRACTOR SHALL BE RESPONSIBLE FOR EXACT COUNT PER PLAN.

THIS PLAN IS FOR AESTHETIC PURPOSES ONLY. RICHARD POPE AND ASSOCIATES IS NOT RESPONSIBLE FOR STRUCTURAL BLOCK WALL DESIGN.

ALL ABOVE GROUND UTILITIES AND IRRIGATION EQUIPMENT SHALL BE SCREENED.



JOB: 25-16 LKD OKE
July 14, 2025

RICHARD
POPE
AND ASSOCIATES
Landscape Architecture
3687 Valencia Ave.
San Bernardino, CA 92404
Office phone: (909) 888-5568
richardpopeassociates.la@gmail.com
www.richardpopeandassociates.com
Richard Pope, Landscape Architect CA# 2664

12/23/2025 9:37:31 AM



NORTHWEST (FRONT) ELEVATION - COLORED

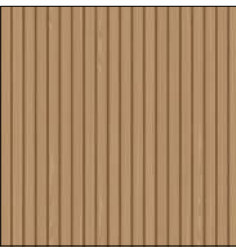
SCALE: 1
3/16" = 1'-0" A203



NORTH ELEVATION - COLORED

SCALE: 2
3/16" = 1'-0" A203

MATERIAL AND COLOR LEGEND



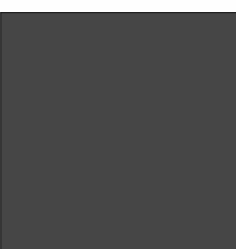
MATERIAL 'A':
MANUFACTURER: JAMES HARDIE BUILDING PRODUCTS
MATERIAL: FIBER CEMENT BOARD
SERIES: HARDIE PANEL SIDING, SIERRA 8
FINISH: PRIMED FOR PAINT
COLOR: DUNN EDWARDS CAVERNOUS DE6364
HIGH-GLOSS SHEEN



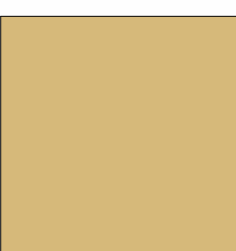
MATERIAL 'B':
MANUFACTURER: PAREX USA, INC.
MATERIAL: LA HABRA STUCCO
SERIES: FASTWALL 300-K ASSEMBLY
FINISH: SMOOTH / ACRYLIC
COLOR: DUNN EDWARDS CAVERNOUS DE6364
HIGH-GLOSS SHEEN



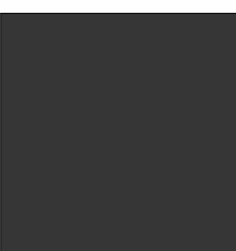
MATERIAL 'C':
MANUFACTURER: PAREX USA, INC.
MATERIAL: LA HABRA STUCCO
SERIES: FASTWALL 300-K ASSEMBLY
FINISH: SMOOTH / ACRYLIC
COLOR: DUNN EDWARDS ANTIQUE PAPER DE6218
HIGH-GLOSS SHEEN



MATERIAL 'E':
MANUFACTURER: UNIVERSAL CONSTRUCTION FOAM
MATERIAL: EXPANDED POLYSTYRENE FOAM
SERIES: ARCHITECTURAL SHAPES
FINISH: SMOOTH STUCCO, PAINTED
COLOR: DUNN EDWARDS DAY LILY DEW317
HIGH-GLOSS SHEEN



MATERIAL 'F':
MATERIAL: SIGN & HARDWARE
FINISH: BRUSHED
COLOR: BRASS



MATERIAL 'G':
MATERIAL: ALUMINUM DOOR & WINDOW FRAME
FINISH: ANNOZIZED
COLOR: DARK GRAY



MATERIAL 'H':
MATERIAL: GLAZING
FINISH: LOW-E
COLOR: CLEAR



NORTH ELEVATION PERSPECTIVE

SCALE: 4
A203

WEST ELEVATION PERSPECTIVE



SCALE: 3
A203



**HIGGINSON
ARCHITECTS
INCORPORATED**

1177 IDAHO STREET, SUITE 200A
REDLANDS, CALIFORNIA 92374
www.higginsonarchitects.com

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Licensed Professional:

JEWELRY STORE & LEASE SPACE

OUTER HIGHWAY 10 S & HILLTOP DRIVE
YUCAIPA, CALIFORNIA 92389
APN: 0300-131-19, 25, & 26

OZASI BUSINESS ENTERPRISE, INC.

22500 TOWN CIRCLE #2114
MORENO VALLEY, CA 92553

Project Information:		
Project Number:	401-037	
Drawn By:	BH	
Checked By:	DH	
Issued For:	PLANNING REVIEW	
Date Issued:	12/23/2025	

Revisions:		
No.	Description	Date

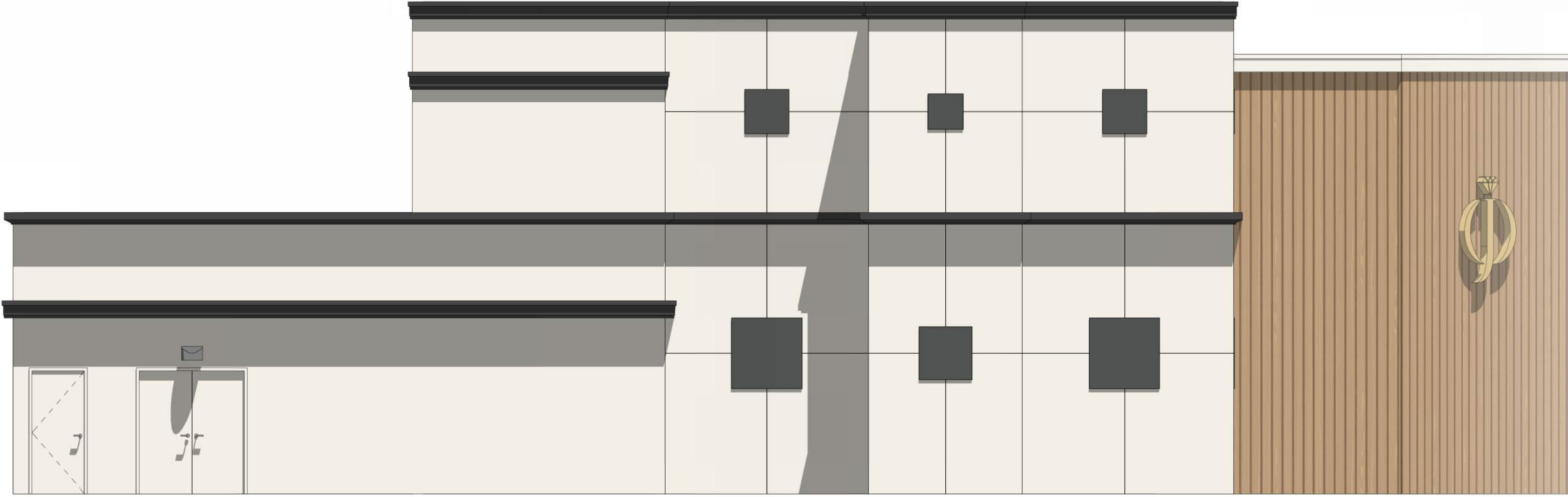
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**COLORED EXTERIOR
ELEVATIONS**

Sheet Number:

A203

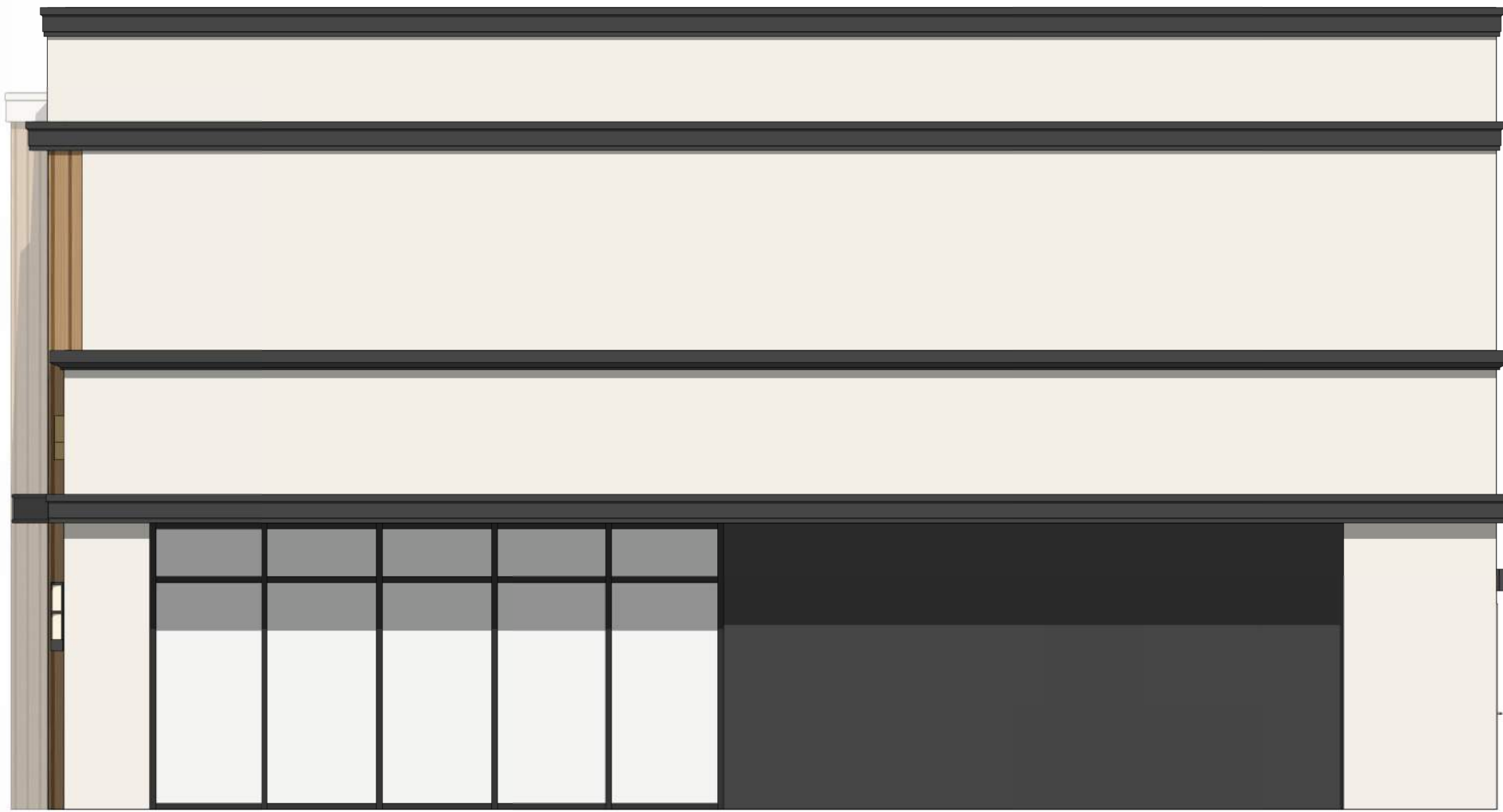
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C:\Users\blh\OneDrive\Documents\HAI\Project Folder\401 Commercial\401-037_Ozasi Jewelry Yucalpa\CAD\Revit\Ozasi Bldg-P24_v3.rvt



SOUTHEAST (REAR) ELEVATION - COLORED

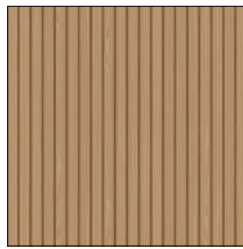
SCALE: 1
3/16" = 1'-0" A204



SOUTHWEST ELEVATION - COLORED

SCALE: 2
3/16" = 1'-0" A204

MATERIAL AND COLOR LEGEND



MATERIAL 'A':
MANUFACTURER: JAMES HARDIE BUILDING PRODUCTS
MATERIAL: FIBER CEMENT BOARD
SERIES: HARDIE PANEL SIDING, SIERRA 8
FINISH: PRIMED FOR PAINT
COLOR: DUNN EDWARDS CAVERNOUS DE6364 HIGH-GLOSS SHEEN



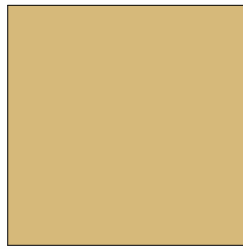
MATERIAL 'B':
MANUFACTURER: PAREX USA, INC.
MATERIAL: LA HABRA STUCCO
SERIES: FASTWALL 300-K ASSEMBLY
FINISH: SMOOTH / ACRYLIC
COLOR: DUNN EDWARDS CAVERNOUS DE6364 HIGH-GLOSS SHEEN



MATERIAL 'C':
MANUFACTURER: PAREX USA, INC.
MATERIAL: LA HABRA STUCCO
SERIES: FASTWALL 300-K ASSEMBLY
FINISH: SMOOTH / ACRYLIC
COLOR: DUNN EDWARDS ANTIQUE PAPER DE6218 HIGH-GLOSS SHEEN



MATERIAL 'E':
MANUFACTURER: UNIVERSAL CONSTRUCTION FOAM
MATERIAL: EXPANDED POLYSTYRENE FOAM
SERIES: ARCHITECTURAL SHAPES
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FINISH: BRUSHED
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FINISH: ANNOXIDIZED
COLOR: DARK GRAY



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MATERIAL: GLAZING
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Project Information:	
Project Number:	401-037
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Issued For:	PLANNING REVIEW
Date Issued:	12/23/2025

Revisions:		
No.	Description	Date

Sheet Name:
**COLORED EXTERIOR
ELEVATIONS**

Sheet Number:

A204

November 20, 2025

City of Yucaipa
Planning Department
34272 Yucaipa Boulevard
Yucaipa, California 92399

Attn: Kenneth Taylor

Re: Narrative for Application PLN-PHE-25-0014

Mr. Taylor,

Per your request, below is the narrative for this application describing the business operations for both the proposed jewelry store and lease space, parking demand variance justifications, and security and safety measures:

I. Jewelry Store Business Operations

A. Nature of Use

1. The jewelry store will provide fine jewelry sales, custom jewelry design and fabrication, repair and cleaning services, watch servicing, appraisals, consultation, and jewelry buying services (cash-for-gold). The business will operate as a low-intensity, appointment-supported professional jewelry operation.

B. Customer Service Characteristics

1. Operations will include both walk-in and appointment-based customers. Appointment volume is expected to remain low and will not exceed the available on-site parking capacity. Because staff will know the nature of each appointment, visits can be time-estimated, allowing appointments to be spaced out as needed to coordinate with available parking stalls.

C. Hours of Operation

1. Proposed hours are Monday through Friday 11:00 AM to 7:00 PM, Saturday 11:00 AM to 2:00 PM, and Sunday closed or by appointment only. Minor seasonal adjustments may occur during holidays.

D. Number of Employees

1. Up to three (3) employees on-site during peak hours, including ownership.

E. Customer Volume

1. Average of 1–3 customer parties on-site at a time, with a maximum of 4–5 during peak days (e.g., holidays). Appointment scheduling will ensure customer traffic remains within on-site parking capacity.

F. Deliveries and Service Vehicles



1. Deliveries occur once daily or every other day between 10:00 AM and 3:00 PM, typically via FedEx/UPS or similar carriers using small vans or box trucks. Pickups and drop-offs are short in duration (5–10 minutes).

G. Security Measures

1. The store will utilize controlled access with a double buzzer entry system and bulletproof glass. Security systems will include video surveillance, motion sensors, glass-break sensors, and vibration sensors in compliance with insurance requirements. Panic buttons will be strategically placed throughout the store. The system will also include monitored alarms with 24/7 response, and all valuables will be secured in a safe or vault after hours. Deterrent signage will be posted at entries. Coordination will be made with the San Bernardino County Sheriff's Department (Yucaipa Station) for safety review and emergency contact registration.
2. If business activity and customer volume increase beyond current projections, private security may be hired to assist with customer and asset protection as needed.

II. Lease Area (Approx. 753 sq. ft.)

A. Status

1. No tenant has been identified at this time. The lease area is included in the plan for future occupancy once a suitable tenant is secured. The specific use will comply with applicable zoning and will not exceed the site's approved intensity or parking capacity.
2. An alternative plan would be to expand the jewelry store into the lease space at a future date if needed.

B. Staffing Levels

1. 1–2 employees on-site during regular business hours (depending on the tenant).

C. Customer Interaction

1. Customer interaction will primarily occur in-store within the lease suite. Appointments may be scheduled to avoid overlapping with jewelry store peak hours.

D. Hours of Operation

1. Expected to be similar to or slightly offset from the jewelry store schedule (e.g., weekday daytime hours with limited or no weekend operations), depending on tenant use.

E. Shared Use Considerations

1. The lease suite will have its own restroom and a separate exterior entrance. On-site parking will be shared. There will not be a shared lobby.

III. Parking Demand and Variance Justification

- | | |
|------------------------------|---|
| A. City Code Requirement: | 11 spaces required per Yucaipa Development Code §87.0605. |
| B. On-Site Parking Provided: | 7 spaces (6 standard + 1 accessible). |

C. Additional Parking Context

1. On-street parking is available along Outer Highway 10 for overflow use. Approximately 4-5 additional vehicles could utilize the street immediately adjacent to the property. Access to the building from a new sidewalk will be provided.

D. Peak Demand Analysis

1. Jewelry store employees: 3 stalls
2. Jewelry customers: 1–3 typical with 3–4 max (4 stalls)
3. Lease area staff/customers: 1–2 stalls
4. Total peak demand: Approximately 7–8 stalls (rarely concurrent).

E. Shared or Staggered Operations

1. Jewelry store visitation peaks typically occur midday and early evening, while the lease area will primarily operate during daytime weekday hours. This offset naturally distributes parking use.
2. Appointment-based scheduling at the jewelry store allows visits to be spaced as needed to coordinate with available parking stalls and ensure that demand does not exceed supply.

F. Operational Controls

1. Employee parking: Employees will park on-street along Outer Highway 10, leaving on-site stalls available for customers.
2. Appointment scheduling: Appointments will be spaced when necessary to maintain parking availability.
3. Customer communication: Customers will be directed to on-site stalls first, with clear overflow options available on Outer Highway 10.
4. Monitoring: Parking use will be periodically reviewed, and appointment timing adjusted if demand approaches capacity.
5. Private events: The business may host private events or charitable functions for clients throughout the year, with parking coordination handled as needed.

IV. Variance Justification

- A. Given the low-intensity, appointment-based nature of operations, limited staffing, and on-street parking availability, the 7 on-site stalls provide sufficient daily capacity. The request for a variance is consistent with Yucaipa Development Code §87.0605, as the operational characteristics demonstrate that parking demand will remain controlled and compatible with surrounding commercial uses.

V. Security and Safety Plan

- A. Surveillance: Video surveillance covering entries, parking, interior sales, and service areas with 24/7 monitoring and a minimum 30-day recording retention.
- B. Sensors: Motion, glass-break, and vibration sensors installed throughout the premises as required by insurance.
- C. Alarms: Monitored alarm system with panic buttons at key locations and direct emergency response.
- D. Controlled Access: Double buzzer entry with bullet-resistant glass for visitor screening and controlled admission.
- E. Lighting: Exterior lighting on timers and photocells, ensuring adequate illumination without glare to adjacent parcels.
- F. Safe/Vault: High-security vault secured to slab, used for all valuables after hours.
- G. Training: Employees trained in emergency response, duress procedures, and alarm use.
- H. Law Enforcement Coordination: Coordination with San Bernardino County Sheriff (Yucaipa Station) for CPTED review and emergency contact registration.
- I. Private Security (Optional): If business growth and activity levels warrant, a licensed private security service may be hired to assist with site monitoring and safety assurance.

VI. Summary:

- A. The proposed Ozasi Jewelry Store and future lease area will operate as compatible, appointment-based uses with modest staffing and managed parking demand. Employee and customer scheduling, combined with available on-street parking, ensures adequate capacity. Security systems and protocols, including the option for private security, will maintain safe and efficient operations consistent with Yucaipa's commercial standards.

Respectfully,



David Higginson, AIA
President & CEO
California License C19168



STAFF REPORT

DATE: Planning Commission Meeting of February 18, 2026

TO: Honorable Chairperson and Planning Commissioners

FROM: **Benjamin Matlock**, Deputy Director of Community Development *Benjamin Matlock*

PREPARED BY: Kenny Taylor, Planning Consultant *Kenny Taylor*

SUBJECT: **Michael Kling** (Case No. PLN-PHE-25-0018): A Special Use Permit for the Architectural Review to allow construction of a new detached 2,160-square-foot, 17-foot-tall metal recreational vehicle and automotive storage garage located at the rear of the property at 33659 Colorado Street (Assessor's Parcel Number 0318-102-11).

RECOMMENDATION:

That the Planning Commission conduct a public hearing, and:

- A) Review the architectural design of the proposed accessory structure, and if it is acceptable, approve the design subject to the Conditions of Approval; and
- B) Adopt the Special Use Permit Findings as contained in the Agenda Report; and
- C) Adopt a Categorical Exemption pursuant to the California Environmental Quality Act of 1970 and the CEQA Guidelines, as amended, Section 15303 (Class 3); and
- D) Direct staff to file a Notice of Exemption.

BACKGROUND:

Area Land Use Designations; Improvement Levels; and Existing Land Uses:

Site:	RS-20M (Single Residential; 20,000 square foot minimum)	IL-2	Single-family residence
North:	RS-10M (Single Residential; 10,000 square foot minimum)	IL-2	Single-family residence
South:	RS-20M (Single Residential; 20,000 square foot minimum)	IL-2	Single-family residence
East:	RS-20M (Single Residential; 20,000 square foot minimum)	IL-2	Single-family residence
West:	RS-20M (Single Residential; 20,000 square foot minimum)	IL-2	Single-family residence

DISCUSSION/BACKGROUND:

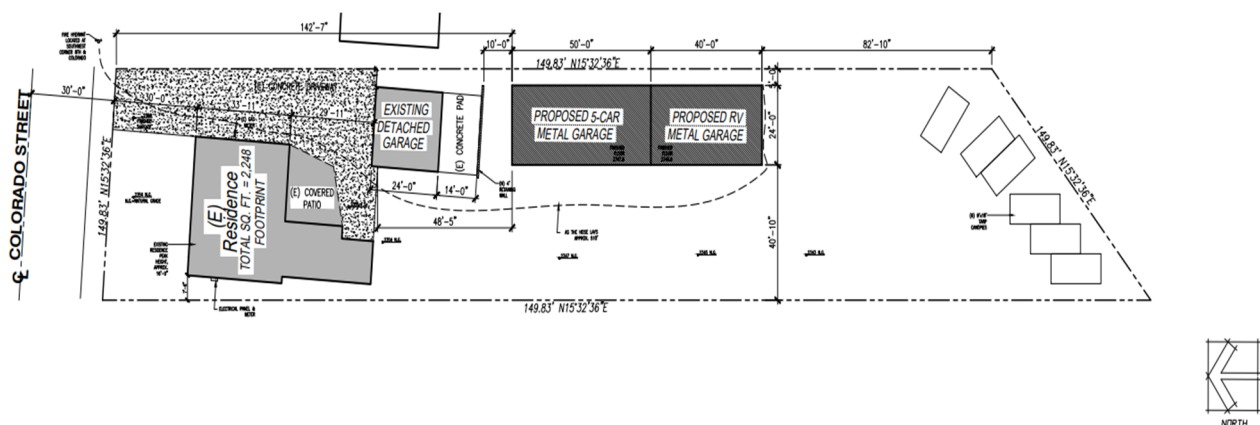
The applicant has submitted a Special Use Permit request for Planning Commission review of the architectural design of a detached accessory structure on a single-family residential property. The proposal consists of a 960-square-foot (24-foot by 50-foot) five-car metal garage and a 1,200-square-foot (24-foot by 40-foot) recreational vehicle steel garage, which are combined into a single accessory structure totaling approximately 2,160 square feet.

Pursuant to Development Code Section 84.0645(a), any newly constructed detached accessory structure that exceeds 1,200 square feet in area, exceeds 20 feet in height, or incorporates an unconventional design or materials, such as a metal garage, is subject to Planning Commission review and approval of a Special Use Permit prior to the issuance of building permits.

Because the proposed 2,160-square-foot size exceeds the 1,200-square-foot area threshold listed under Section 84.0645, and because the metal exterior finishes are identified as an unconventional design, Planning Commission approval of a Special Use Permit for architectural review is therefore required in accordance with the Development Code.

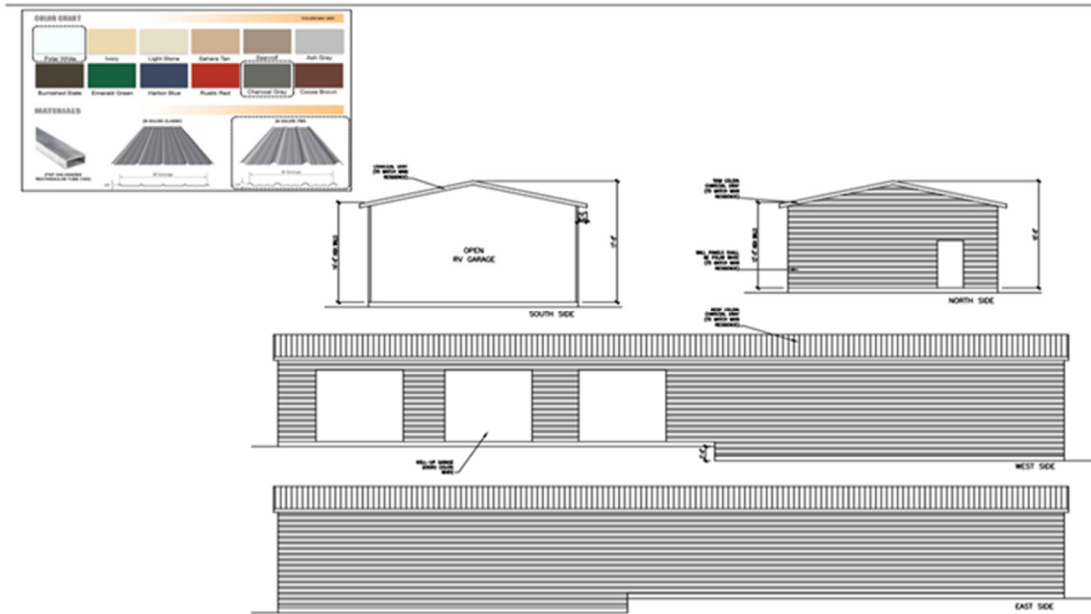
The project site consists of a 0.59-acre parcel located at 33659 Colorado Street, within the RS-20M (Single-Residential, 20,000-square-foot minimum lot size) Land Use District of the City of Yucaipa. The surrounding area is characterized by low-density, single-family residential development consistent with the intent and character of the RS-20M zoning designation. The site is currently developed with an existing one-story, single-family residence measuring approximately 14.4 feet in height and containing 2,248 square feet of habitable floor area, along with an existing detached garage totaling approximately 576 square feet of non-habitable area (garage and associated architectural features).

PROPOSED SITE PLAN:



The applicant proposes the construction of a new detached accessory structure intended to provide enclosed storage for their passenger and recreational vehicles. The proposed structure would accommodate up to five (5) passenger vehicles and two (2) recreational vehicles, serving as a private garage and storage facility accessory to the existing single-family residence.

RENDERING OF PROPOSED STRUCTURE ELEVATIONS:



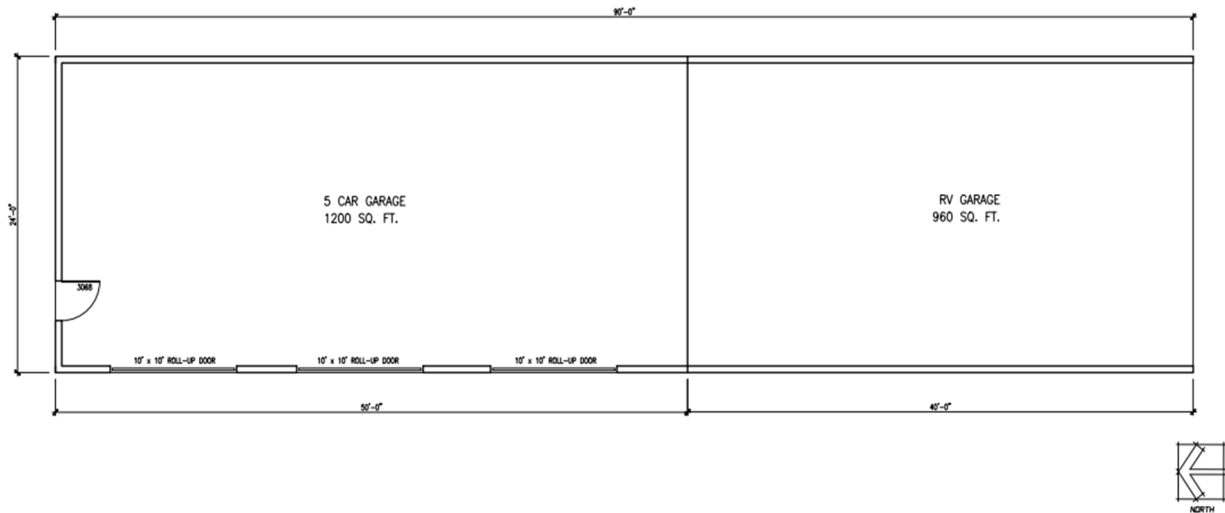
The proposed accessory structure is single-story in height and features a gable roof form, consistent with residential accessory structures permitted in the RS-20M district. The building is designed with a rectangular footprint and includes multiple roll-up garage doors along the west elevation to facilitate vehicular access. The south elevation includes an open RV garage bay, allowing for the covered storage of recreational vehicles while maintaining functional access.

PHOTOGRAPH OF EXISITING RESIDENCE AND DETACHED GARAGE:



Exterior finishes and colors have been selected to ensure visual compatibility with the existing primary residence. The proposed color palette includes “Charcoal Gray” and “Polar White”, which are intended to match and complement the existing residential structures on the site, consistent with the City’s objective design compatibility standards for accessory structures.

RENDERING OF PROPOSED STRUCTURE FLOOR PLAN:



The proposed accessory structure is intended solely for private storage purposes, does not include habitable space, plumbing, or kitchen facilities, and remains clearly subordinate to the primary single-family residence, consistent with the intent of the RS-20M zoning district and applicable provisions of the Yucaipa Municipal Code governing accessory structures. Because of the lower elevation where the structure is proposed, the height would not be visible from Colorado Street.

Processing and Procedural Actions:

Notices of the Project were sent to all surrounding contiguous property owners, and one comment was received. The owner of the adjacent property, located at 33673 Colorado Street, submitted comments requesting staff review of the following concerns:

- **Drainage:**

Potential roof runoff from the proposed garage may be directed toward the shared property line, which could result in erosion along the existing fence or on the adjacent property. The commenter requests verification that roof drainage will be properly managed, potentially through gutters and controlled drainage.

Response to Comment

Prior to issuance of building permits, the applicant shall demonstrate that roof drainage from the proposed garage will be properly managed and directed away from adjacent properties. Roof runoff shall be collected via gutters and downspouts and discharged to in a manner that prevents runoff, erosion, or drainage impacts onto neighboring properties or along the shared fence line, consistent with the City’s Development Standards.

- **Side Yard Setbacks:**

The commenter questions whether the proposed garage complies with the required 5-foot and 10-foot.

Response to Comment

The Yucaipa Development Code setback standards for within the Single-Residential (RS) District provides a minimum side yard setback of ten (10) feet on one side and five (5) feet on the opposite side. The existing single-family residence and detached garage were legally constructed prior to the adoption of the current setback standards and are therefore considered as legal nonconforming standards. The existing residence maintains a side yard setback of approximately seven (7) feet six (6) inches, and the existing detached garage maintains a side yard setback of approximately five (5) feet six (6) inches. Although the existing structures do not meet the current side-yard setback requirement, the Development Code expressly allows continued use, maintenance, and limited modification of these standards, provided that the modification does not increase the degree of encroachment into the required setback (Section 84.0830(d)). The proposed automotive recreational vehicle garage is designed to align with the footprint of the existing detached garage and will maintain a minimum side yard setback of five (5) feet, six (6) inches.

- **Natural Grade and Elevations:**

The commenter expresses concern that the natural grade elevations shown on the plans may not be accurate, making it difficult to evaluate potential view impacts and finished floor elevations. The commenter also notes that discrepancies could result in additional grading that may affect the adjacent property.

Pursuant to Chapter 15.12 Grading and Excavation Section, prior to issuance of building permits, the applicant shall submit final construction plans demonstrating verified existing and proposed grade elevations consistent with the approved site plan. All grading activities shall comply with the applicable provisions of the Yucaipa Development Code 15.12.100(a)(b)(c) and shall be subject to review and approval by the Building and Engineering Divisions. Grading associated with the project shall be limited to that shown on the approved plans and shall be designed and constructed in a manner that avoids adverse impacts to adjacent properties, including but not limited to changes in drainage patterns, erosion, slope stability, finished floor elevations, or potential view impacts. No grading beyond what is approved shall occur without prior City review and approval.

If discrepancies between actual field conditions and the approved plans are identified during plan check or construction, the applicant shall submit revised plans for City review and approval prior to proceeding with construction.

Environmental Review:

Staff is recommending that the Project is Categorically Exempt from the California Environmental Quality Act (CEQA), pursuant to Section 15303 of the CEQA Guidelines (Class 3 – Small Structures), as the Project consists of a small, steel structure to be used as an accessory structure.

CONCLUSION:

As designed, the proposed accessory structure complies with the applicable height limitations and setback requirements of the Single Residential zoning district. The structure is limited to a single-story design that is approximately 17 feet in height, utilizes a simple gable roof form, and is located toward the rear of the parcel, which minimizes its visibility from the public right-of-way and reduces potential impacts to surrounding properties.

Although the use of metal construction differs from the stucco and composition roofing materials typical of nearby residences, the proposed design incorporates neutral, non-reflective colors, consistent material application on all elevations, and architectural features that reduce visual mass and scale. The structure is intended solely for private vehicle and recreational vehicle storage and does not introduce commercial activity or additional residential density.

It is recommended that the Planning Commission review and consider the proposed Special Use Permit for the Architectural Review of a detached accessory structure and take such action as it deems appropriate, based on the information contained in this staff report, the testimony presented at the public hearing, and the Planning Commission's independent findings.

Attachment(s):

1. Findings for Special Use Permit
2. Land Use & Location Map
3. Site Photos
4. Conditions of Approval
5. Site Plan and Building Elevations

FINDINGS: SPECIAL USE PERMIT NO. PLN-PHE-25-0018

1. The site for the proposed use is adequate in size and shape to accommodate said use and all yards, building coverage, setback, parking area, and other requirements of the Code.

The site for the proposed use is adequate in size and shape to accommodate the accessory structure and to meet all applicable yard, building coverage, setback, parking, and development standards of the Development Code. The subject property consists of approximately 24,150 square feet and is developed with a primary residence, a detached garage, a covered patio, and associated paved areas. The proposed metal storage garage would be located within the rear side yard of the property, approximately 143 feet from the front property line, five feet from the interior side property line, and approximately 83 feet from the rear property line. The proposed placement maintains required setbacks from all property lines while preserving functional circulation and access throughout the site. The primary residence, detached garage, covered patio, existing concrete areas, and the proposed accessory structure would result in a total lot coverage of approximately 7,743 square feet, representing approximately 32.1 percent of the total lot area. This coverage is well below the maximum 55 percent lot coverage permitted within the Single Residential (RS) District. The size and configuration of the existing parcel allow the proposed structure to be accommodated without encroaching into required yards or creating conflicts with existing improvements. The lot's size, shape, and established development pattern support the placement of the proposed accessory structure in a manner that complies with applicable zoning standards and allows for the safe and functional use of the property. Accordingly, the site is adequately sized and configured to accommodate the proposed use in compliance with all applicable Development Code requirements.

2. The proposed accessory structure is subordinate in size, location, and appearance to the primary residential unit.

The proposed accessory structure is subordinate to the primary residential unit in use and location, but not fully subordinate in size and architectural appearance. The proposed metal storage garage would contain approximately 2,160 square feet of floor area, which is comparable to the existing primary residence at approximately 2,248 square feet, and would have a maximum height of 17 feet, exceeding the height of the primary residence by approximately 3 feet. Due to its overall massing, height, and floor area, the proposed accessory structure is similar in scale to the primary residence rather than clearly secondary. However, the project site slopes downward toward the rear of the property, which reduces the perceived height of the structure when viewed from Colorado Street. At this elevation, the proposed structure would appear lower than the primary residence, mitigating its visual prominence from the public right-of-way. While the structure is located within the rear side yard and functions as an accessory use, the proposed metal wall panels and metal roofing differ from the stucco wall finishes and asphalt composition shingle roofing of the primary residence and existing detached garage. As a result, the architectural materials and character of the proposed structure are not fully consistent with or subordinate to the primary residence.

Accordingly, although the proposed structure qualifies as accessory in function and placement, its size, height, massing, and material composition limit its ability to be considered clearly subordinate in scale and appearance. For these reasons, the project is subject to discretionary review and Planning Commission consideration pursuant to Section 84.0645(a) and (b) of the Yucaipa Development Code, which require that accessory structures be architecturally compatible with and subordinate in scale, massing, and appearance to the primary residential structure.

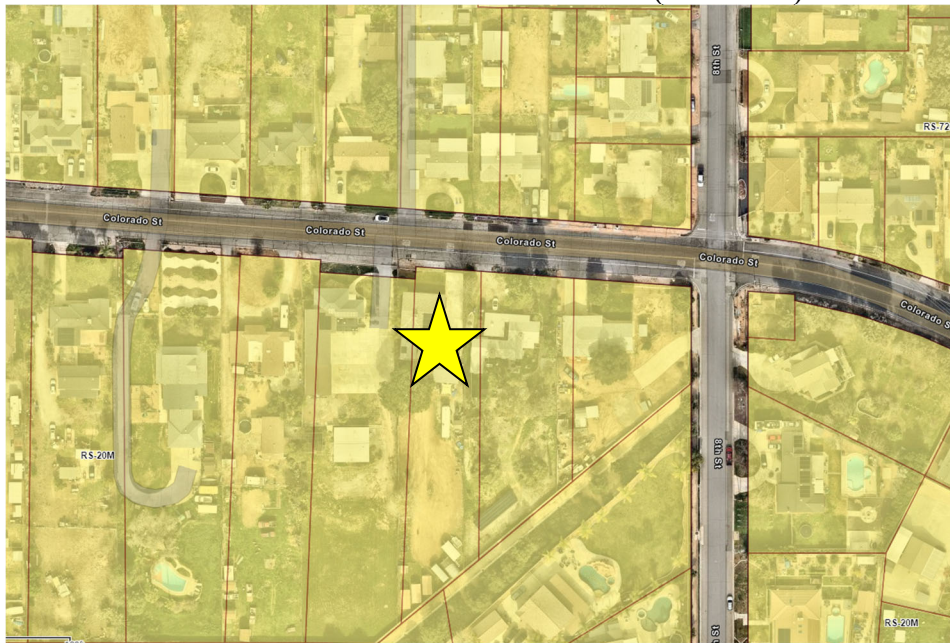
3. Issuance of the permit shall not be detrimental to the public health, safety, or welfare, or injurious to the property or improvements in the vicinity and district in which the use is located.

As conditioned, and subject to review and approval by the Building & Safety Division and the Fire Department, the proposed metal storage garage would not be detrimental to the public health, safety, or welfare, nor injurious to nearby properties or improvements. The proposed accessory structure is located entirely on a developed residential parcel. The proposed structure complies with applicable development standards within the Single Residential (RS) District, including lot coverage, setbacks, and height limitations, and will not obstruct emergency access, creating unsafe conditions. Additionally, the structure will not interfere with adjacent properties' access to light, air, or privacy beyond what is typical for residential accessory structures.

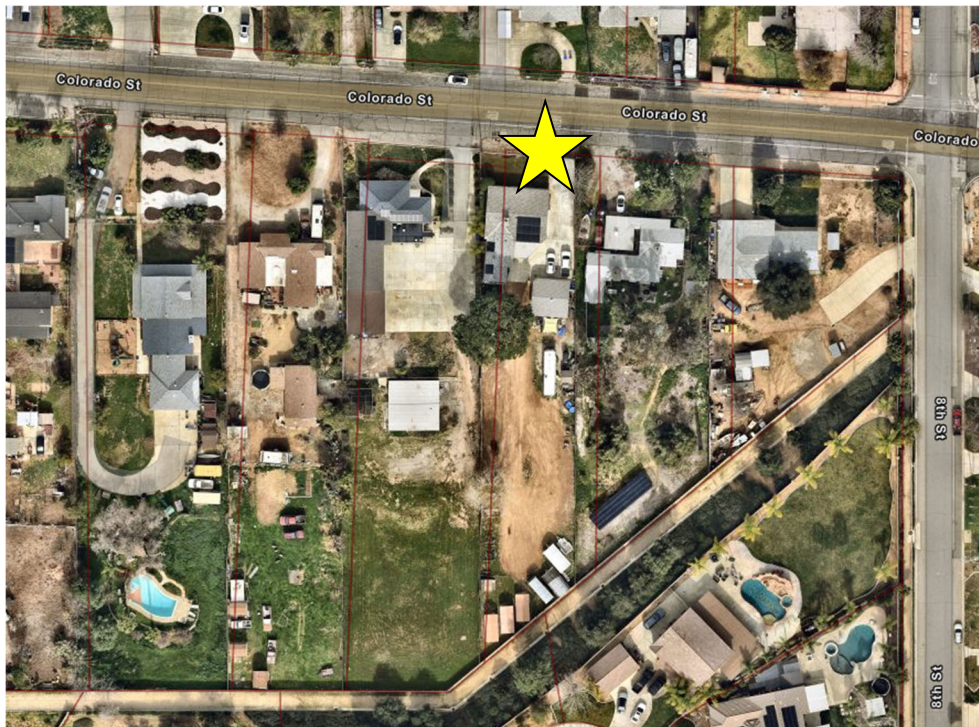
4. The appearance of the detached accessory structure and the method of construction are compatible with the surrounding built environment.

The proposed metal storage garage would consist of approximately 2,160 square feet in floor area and a maximum height of 17 feet, and would be located within the rear side yard of the residential property containing an existing primary residence and a detached garage. The proposed structure would have a maximum height of approximately 17 feet, which is approximately 3 feet taller than the existing primary residence, which is approximately 14.4 feet in height and situated on a lower finished pad elevation. Due to its height and massing, the proposed accessory structure would be similar in overall scale to the existing primary residence, which has an approximate floor area of 2,248 square feet. The primary residence, detached garage, covered patio, existing concrete areas, and the proposed metal garage would result in a total lot coverage of approximately 7,743 square feet, representing approximately 32.1 percent of the total 24,150-square-foot lot area. The proposed development complies with the maximum 55 percent lot coverage permitted within the Single Residential (RS) District. The applicant proposes Charcoal Gray metal roofing with Polar White metal wall panels, which are intended to visually relate to the color palette of the existing primary residence and detached garage. The proposed structure differs in construction material from the surrounding residential structures, which are constructed with stucco (cement plaster) wall finishes and asphalt composition shingle roofing. As such, the proposed metal wall panels and metal roofing introduce a different material treatment than that of the existing residential development, but features proposed colors that are generally consistent with the existing structures on the site.

LAND USE: SINGLE-RESIDENTIAL (RS-20M)



SITE LOCATION:



SITE PHOTOS:





Applicant Name: Jasmin Hancock
Case Nos. PLN-PHE-25-0018
Conditions of Approval; 2-18-2026

SPECIAL USE PERMIT

CONDITION – Note: The **gold** header which each Condition falls under is the timing metric for establishing when that Condition shall be satisfied.

**DATE SATISFIED &
STAFF INITIALS**

ON-GOING CONDITIONS/GENERAL REQUIREMENTS:

PLANNING DIVISION (909) 797-2489 EXT. 252

1. A Special Use Permit for the Architectural Review of a 2,160 square foot, 17-foot tall metal garage proposed to be constructed in the rear of the property located at 33659 Colorado Street; Accessor Parcel Number 0318-102-11. Any alteration or expansion of these facilities, or increase in the developed area of the site from that shown on the approved site plan, may require the submission of a new application or an additional application for Revisions for review and approval.
2. The applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any claim, action or proceeding attacking or seeking to set aside, void or annul the approval of all or part of the matters applied for, or any other claim, action or proceeding relating to or arising out of such approval. This obligation includes the obligation to reimburse the City, its agents, officers and employees for any court costs or attorney fees which the City, its agents, officers, or employees are required by a court to pay as a result of such claim, action or proceeding. The City agrees to notify the applicant of any such claim, action or proceeding promptly after the City becomes aware of it. The City may participate in the defense of the claim, action or proceeding, but such participation will not relieve the applicant of applicant's defense and indemnification obligations, including City expenses.
3. This Special Use Permit shall become null and void if all conditions have not been complied with and the occupancy or use of the land has not taken place within three (3) years of the date of approval. One extension of time, not to exceed three (3) years, may be granted upon written request and submittal of the appropriate fee not less than 30 days prior to the date of expiration. **PLEASE NOTE:** this will be the only notice given for the above specified expiration date. **The applicant is responsible for the initiation of an extension request.**
4. All conditions of this Special Use Permit are continuing conditions. Failure of the applicant and/or operator to comply with any or all of said conditions at any time may result in the revocation of the permit granted to use the property.



Applicant Name: Jasmin Hancock
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5.	The applicant/owner shall maintain in good condition at all times all permanent plantings as identified on the approved landscape plan.	
6.	All new utility lines shall be placed underground.	
7.	New projects with a landscape area of 500 square feet or more shall comply with Sections 492.6(a)(3)(b) (c), (d) and (g) of the MWELO including the use of renewable organic waste products such as compost and mulch where applicable.	
8.	Projects rehabilitating an existing landscape area of 2,500 square feet or more shall comply with Sections 492.6(a)(3)(b) (c), (d) and (g) of the MWELO including the use of renewable organic waste products such as compost and mulch where applicable.	
9.	Compost and mulch made by the City's franchised hauler, Yucaipa Disposal, Inc. (909) 797-9125, or other designee from recovered organic waste products pursuant to 14 CCR Section 18993.1 shall take precedence over inorganic or virgin forest products when available locally.	
10.	Mail delivery shall be by neighborhood boxes or other delivery as approved by the U.S. Postal Service.	
11.	Parking requirements shall be maintained at all times.	
12.	Noise levels shall not exceed City Standards as required by Development Code Section 87.0905(b).	
13.	The ADU may be rented, subject to the limitations on short term rentals, but shall not be sold, transferred or assigned separately from the primary dwelling unit. The ADU shall not be used for short-term rentals for less than thirty days.	
<u>FIRE DEPARTMENT (909) 797-2489 EXT. 246</u>		
14.	This project is protected by the Yucaipa Fire Department / CalFire. Prior to any construction occurring on any parcel, the applicant shall contact the Fire Marshall for verification of current fire protection development requirements. All new construction shall comply with the adopted California Fire Code and all applicable statutes, codes, ordinances, standards and policies of the Yucaipa Fire Department/CalFire.	
15.	Fire Department access roads and/or public/private streets and residential driveways shall have a minimum vertical clearance of thirteen (13) feet and six (6) inches.	



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16.	Fire Department access roadways and/or public/private streets and driveways shall not exceed 12% grade (please note: Engineering Division requirements may be more restrictive).	
17.	Required fire flow for this project, as determined by California Fire Code Appendix 'B', is as follows: GPM = 1,000 at 20 psi residual; for 2 hour duration A reduction in the required fire flow rate may be allowed per the exceptions specified in the California Fire Code. System shall be looped with minimum eight (8) inch mains; six (6) inch laterals; six (6) inch risers; six (6) inch diameter hydrants with one 2 ½" outlet and one 4" outlet.	
THE FOLLOWING CONDITIONS SHALL BE MET PRIOR TO ISSUANCE OF A BUILDING PERMIT:		
PLANNING DIVISION (909) 797-2489 EXT. 252		
18.	Provide detailed building elevations including materials, finishes, colors, and signage for all buildings for Planning Division review and approval prior to issuance of building permits. Building elevations shall be consistent with those approved by the Planning Commission.	
19.	The enrollment of the Yucaipa Joint Unified School District is severely impacted by new development. To mitigate the impact of this project, developer shall pay such taxes as are required by the Yucaipa Joint Unified School District Community Facilities District No. 1, and any other fees assessed by Government Code Section 53080, and 65995-65997.	
20.	The City of Yucaipa has implemented development impact fees for various infrastructure and capital facilities needs generated by new development. These fees will provide for various capital facilities including, but not limited to, roads, parks, flood control and drainage, public facilities, and fire fighting facilities. This project shall be subject to all such development impact fees which are in effect at the time building permits are issued.	
21.	Water service and sewage disposal shall be by Yucaipa Valley Water District. Prior to issuance of building permit, submit water purveyor and sewer service letter to Building and Safety prior to Building Permit issuance.	
22.	A notarized ADU Deed Restriction shall be completed and recorded prior to Building Permit issuance.	



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FIRE DEPARTMENT (909) 797-2489 EXT. 246

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| 23. | Applicant-developer shall provide the Fire Department with a letter from the water company serving the project-development, verifying that financial arrangements have been made and bonds posted for the required Fire Department approved water improvements. | |
| 24. | A fuel break of one hundred (100) feet (brush and weed clearance) is required prior to construction. The clearance shall be maintained on a year-round basis. | |

BUILDING AND SAFETY DIVISION (909) 797-2489 EXT. 263

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| 25. | This project will require one or more building permits. Permits will require a complete permit application and complete building plans to be submitted for approval prior to commencement of work. | |
| 26. | The site shall be developed in compliance with all current model codes. All plans shall be designed in compliance with the latest editions of the California Building Codes, California Energy Codes, California Accessibility Codes, and Yucaipa Municipal Codes as adopted by the City of Yucaipa. | |
| 27. | Per Yucaipa Valley Water District regulations, no waste line cleanouts or back water valves shall be installed inside a garage. | |
| 28. | Separate submittals and permits are required for all accessory structures such as but not limited to, trash enclosures, patios, trellises, gazebos, block walls, signage, and storage buildings. | |
| 29. | Pursuant to California Business and Professions Code Section 6737, this project is required to be designed by a California licensed architect or engineer. | |
| 30. | <p>Landscape and irrigation plans prepared by a Registered Landscape Architect for the planting (drought tolerant landscaping shall be utilized to minimize water consumption) and permanent irrigation system for the development, including setback areas and parkways, shall be submitted to the Building & Safety Division for review and approval. Said plans must be consistent with the City of Yucaipa Landscape Design and Installation Guidelines and include the following details:</p> <p>A. Voltage boxes, mailboxes, trash enclosures, maintenance structures, backflow devices, automatic controls, air conditioning/heating units, etc., to be shown on the plan and screened with landscaping and/or decorative fencing/trim.</p> <p>B. A permanent automatically-controlled irrigation system.</p> | |



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- C. Landscaping shall consist of drought tolerant vegetation appropriate to the local climate. Trees, shrubs and ground covers in the following quantities shall be required as follows:
1. Tree planting (15 gallon size):
 - a. 1 for each 600 sq. ft. of total landscaped area (one required, minimum);
 - b. 80% of total trees required to be 15 gallon;
 - c. 1 for every 12 parking stalls;
 2. 24 to 96 inch box trees:
 - a. 20% of total trees required (one required, minimum).
 3. Tree Spacing/location:
 - a. small trees: 20 feet O.C. max.;
 - b. large trees: 30 feet O.C. max.;
 - c. street trees: 15 gal. min./30 feet O.C. max.;
 - d. min. 6 feet from curbs, paving and sidewalks; trees in parkway between sidewalk and curb shall be provided with a linear root barrier.
 4. 5 gallon shrubs:
 - a. 60% of total shrubs required to be 5 gallon;
 - b. 10 for each 300 sq. ft. of landscaped area.
 5. 1 gallon shrubs:
 - a. 40% of total shrubs required.
 6. Ground Cover:
 - a. Drought tolerant adapted when mature, or native;
 - b. Maximum spacing: 12 inches O.C., or as suitable for planting material;
 - c. Hydroseeding (establish recommended mixture); specify weight or volume per unit area.
- D. Parking/vehicular circulation areas screened with landscaped berms adjacent to streets.
- E. Landscape detail of trash enclosures, to be located within 200 ft. of building pad.
- F. All walls and fences shall be shown, at the top of slope (if applicable), with the style, design, materials, and colors indicated.



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| <p>G. Design features to direct storm water run-off into landscaped pervious areas to achieve percolation into the ground before run-off flows reach the public right-of-way.</p> <p>H. Detector-check valve assembly screening and camouflage, which shall include landscaped berms and/or depressions, shrub screening, and the painting of the equipment to match the landscaping. The height of the equipment shall not exceed the minimum ground clearance established by the applicable code. It is not permitted to be located within the front yard building setback area, unless otherwise approved by City Inspector.</p> | |
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SUBJECT PROPERTY SHALL NOT BE OCCUPIED AND/OR USED FOR PURPOSES APPLIED FOR UNTIL THE FOLLOWING CONDITIONS HAVE BEEN MET:

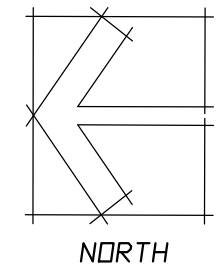
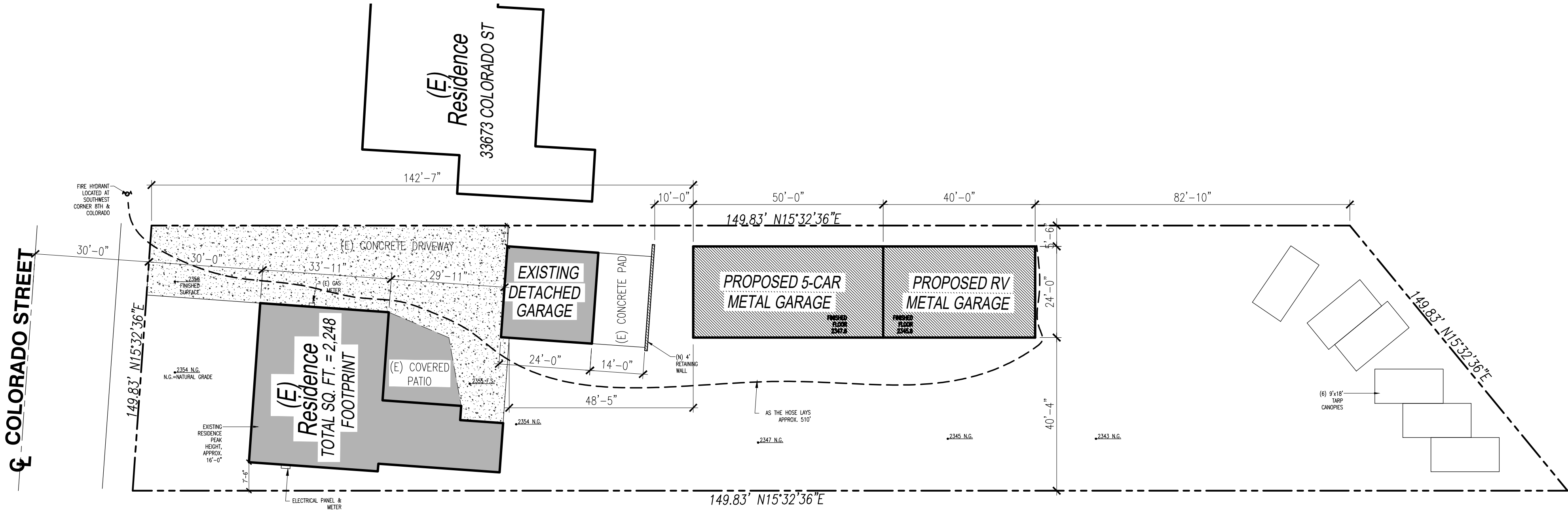
FIRE DEPARTMENT (909) 797-2489 EXT. 246

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| <p>31. Residential driveways shall be paved (asphalt/concrete) and shall have a minimum width of twelve (12) feet. Driveways of this standard shall serve no more than two single family dwellings and shall not exceed 12% in grade.</p> | |
| <p>32. Manual operated gates across Fire Department access roadways, public and/or private streets and driveways, shall be equipped with approved emergency key-operated ("Knox" type) locks. For automatic gates, a "Knox" keyed emergency access switch shall be installed at location determined by Fire Department, and shall over-ride all command functions and open gate automatically upon activation. All automatic gates shall have a manual over-ride for use during loss of electric power. "Knox box" request forms are available from the Fire Department.</p> | |
| <p>33. Address numbers shall be placed on all new and existing residential structures in such a manner as to be plainly visible and legible from the access roadway or street. Single family dwellings shall have numbers of 4" height, 3/8" stroke on contrasting background. Address numbers shall be low voltage, automatically electrically illuminated. Where structure setback exceeds one hundred (100) feet from the access roadway or street, additional non-illuminated numbers 4" in height, 3/8" stroke, on contrasting background shall be displayed at property access entrance.</p> | |
| <p>34. Smoke detectors, hard wired with battery back-up, shall be installed in all sleeping areas and in all hallways leading to sleeping areas. Smoke detectors shall be installed at the top of all stairways.</p> | |
| <p>35. Carbon Monoxide detectors shall be installed pursuant to manufacturer specifications. See installation requirements in CRC R315.</p> | |



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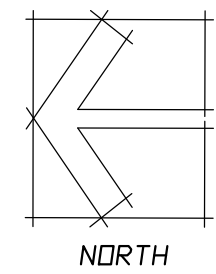
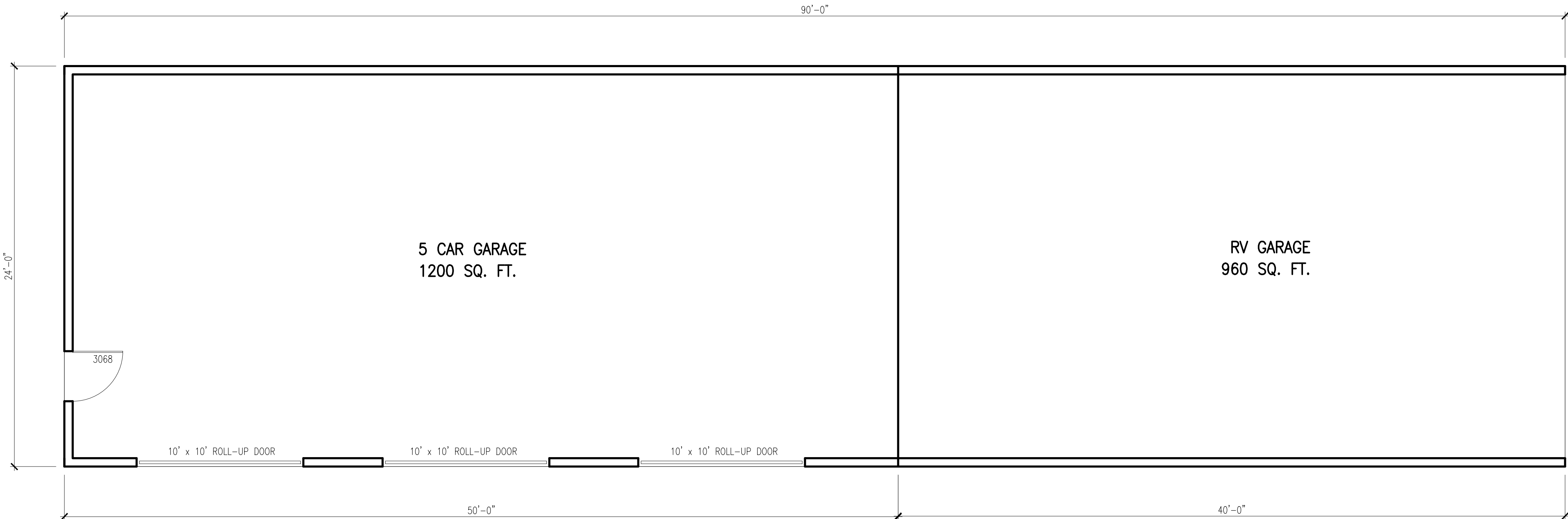
36.	The main electrical panel and all sub-panels shall be labeled on inside cover for all circuits.	
37.	Water heater (fuel fired) shall be properly vented to exterior of structure. Water heater shall be seismic strapped to wall and be located 18" above a garage floor.	
38.	A one-hour fire rated, solid core, self-closing and latching door shall be installed between an attached garage and living space.	
PLANNING DIVISION (909) 797-2489 EXT. 252		
39.	Any lights used to illuminate the site shall be hooded and designed so as to reflect away from adjoining properties and public thoroughfares.	
40.	The structure shall be materially consistent with the approved Building Elevations and shall complement the primary residence.	



ARCHITECTURAL SITE PLAN

SCALE:
1"=20.00'

1



FLOOR PLAN

SCALE:
1/4"=1'-0"

2

PROJECT INFORMATION

OWNER: MICHAEL & NATALIE KLING
33659 COLORADO STREET
YUCAIPA, CA 92399

PROJECT ADDRESS
33659 COLORADO STREET
YUCAIPA, CA 92399

ASSESORS PARCEL NUMBER
0318-102-11-0000

LEGAL DESCRIPTION:
LOT NUMBER: 128, DISTRICT: 12, CITY: YUCAIPA, SUBDIVISION NAME:
YUCAIPA VALLEY. BRIEF DESCRIPTION: SUB NO 4 YUCAIPA VALLEY. PTN LOT
128 COMM 1N C/L AVE F S 85 DEG 56 M1N E 322.25 FT FROM NW
COR SD LOT TH S 85 DEG 56 M1N E 70

SCOPE OF WORK:
METAL GARAGE 2,160 SQ. FT. (960 SQ. FT. RV GARAGE,
1,200 SQ. FT. 5-CAR GARAGE)

ZONING: RS-20M
OCCUPANCY TYPE: R-3/U
TYPE OF CONSTRUCTION: V - B
FIRE SPRINKLERS: YES
NO. OF STORIES: 1

BUILDING AREA'S:
(E) MAIN RESIDENCE LIVING SPACE 1,876 SQ. FT.
(E) DETACHED GARAGE 576 SQ. FT.
(E) COVERED PATIO 372 SQ. FT.
(E) CONCRETE & ASPHALT AREAS 2,759 SQ. FT.

PROPOSED METAL 5-CAR GARAGE 1,200 SQ. FT.
PROPOSED METAL RV GARAGE 960 SQ. FT.
TOTAL METAL GARAGE 2,160 SQ. FT.

COVERAGE:
7,743 SQ. FT. / 24,150 (LOT AREA) = 32.1%

UTILITIES INFO

WATER: SOUTH MESA WATER DISTRICT (909) 795-2401
391 W AVENUE L, CALIMESA, CA 92320
SEWAGE: YUCAIPA VALLEY WATER DISTRICT (909) 797-6381
12770 2ND STREET, YUCAIPA, CA 92399
ELECTRIC: EDISON EASTERN OPERATIONS (800) 655-4555
2492 W SAN BERNARDINO AVE, REDLANDS, CA 92373
GAS: SOUTHERN CALIFORNIA GAS CO. (213) 244-1200
1981 W LUGONIA AVE, REDLANDS CA 92374
PHONE/CABLE: FRONTIER COMMUNICATIONS (909) 460-8041
738 S WATERMAN AVE c45, SAN BERNARDINO, CA 92408

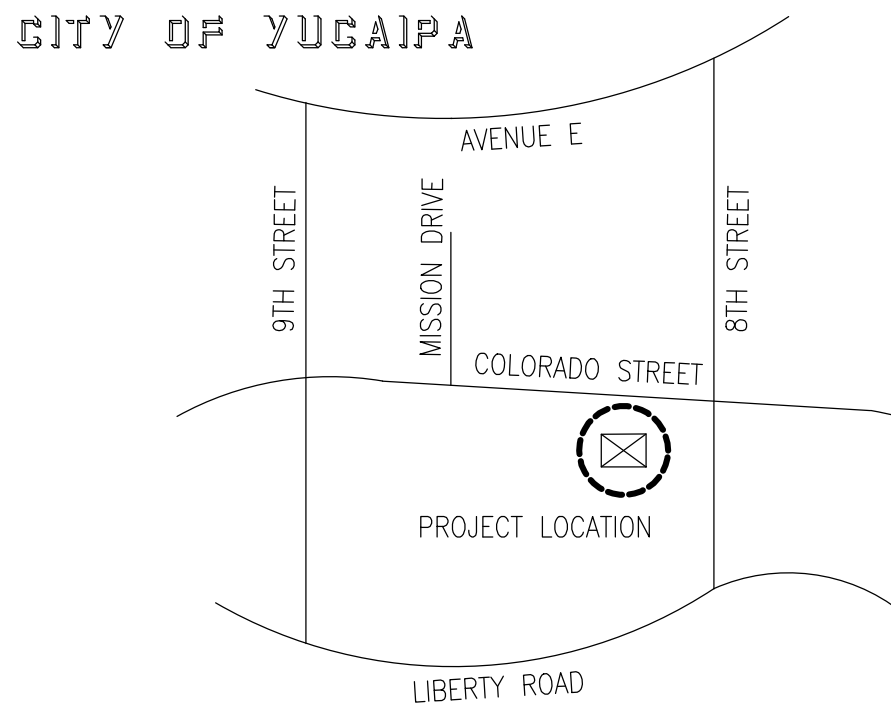
PROJECT NOTES

1. NO TREES AFFECTED
2. NO HILLY TERRAIN EXISTS.
3. NO EASEMENTS.

SHEET INDEX

SHT. NO.	DESCRIPTION
S 1.0	SITE PLAN & FLOOR PLAN ELEVATIONS

VICINITY MAP



JASMIN HANCOCK
1177 Idaho Street, Suite 200
Redlands, CA 92374
Phone (909) 801-4502

FOR ..

New Metal Garage

Kling Residence

33659 Colorado Street
Yucaipa, CA 92399

REVISIONS 25-12-04

CONSTR.

PLAN CHECK 2025-11-11

DRAWN . RM

JOB NO. 25-105

SHEET NAME

SITE PLAN

SHEET NO.

0.S

SHEET 1 OF 2