

CITY OF



Stacey Phillips, Chair
Dennis Miller, Vice Chair
Tony Hicks, Commissioner
Mike McCuiston, Commissioner
Brandon Mihld, Commissioner
Timothy Mullins, Commissioner
Robert O'Brine, Commissioner

AGENDA

Planning Commission

September 17, 2025

6:30 PM

Yucaipa City Hall - City Council Chambers
34272 Yucaipa Blvd., Yucaipa, California

Public Comment Via Mail or Email

Items must be submitted no later than three (3) business hours prior to the meeting at which the commenter seeks to provide comment. Public comment may be submitted via U.S. Mail to the City Clerk at 34272 Yucaipa Blvd., Yucaipa, CA 92399 or via email to publiccomment@yucaipa.gov. All mail and email correspondence will be archived, distributed to the Planning Commission, and retained as part of the public record; however, submissions will not be read out loud during the meeting. The subject line should specify "Public Comment-Planning Commission" and include the date of the meeting.

Written public comment submitted on non-agenda items and on specific agenda items will be made available to the public pursuant to the City of Yucaipa policy regarding the distribution of written public comments at City Council and Commission meetings, which may be accessed on the City's website at <https://yucaipa.gov/agendas-minutes/>. Individuals should be aware that comments provided, including personal information, may be disclosable pursuant to the California Public Records Act.

Live stream/recording of Planning Commission meetings:

Members of the public may watch city council meetings live at: <https://yucaipa.gov/live>.

Possible Live Stream Disruptions:

While the City of Yucaipa strives for uninterrupted streaming, technical issues may occasionally occur. We ask for your understanding and patience should there be any disruptions during the live broadcast. We will work diligently to resolve any issues promptly, however, please be advised that the City Council meeting may continue in person while such issues are resolved. Every attempt will be made for the meeting to be recorded and made available for viewing after its conclusion.

CALL TO ORDER

PLEDGE OF ALLEGIANCE

ROLL CALL

PUBLIC COMMENT

LIMIT 3 MINUTES

CONSENT AGENDA

The following Consent Agenda items are expected to be routine and non-controversial. The Planning Commission will act upon them, at one time, without discussion. Any Commissioner or staff member may request removal of an item from the Consent Agenda for discussion.

1. **SUBJECT:** APPROVE THE PLANNING COMMISSION MINUTES OF AUGUST 20, 2025.

RECOMMENDATION: That the Planning Commission approve the minutes of August 20, 2025.

PUBLIC HEARINGS

The order of Business for the Public Hearing Shall Be:

- A. Open Public Hearing
- B. Disclosure of Ex Parte Communications
- C. Staff Presentation
- D. Applicant/Representative Presentation (if necessary)
- E. Public Comments
- F. Applicant Rebuttal (if necessary)
- G. Public Hearing Closed
- H. Commission Discussion

2. **SUBJECT:** KEN MUNOZ (CASE NO. PLN-PHE-24-0008): A SPECIAL USE PERMIT FOR THE ARCHITECTURAL REVIEW OF A 1,600 SQUARE FOOT, 16.5-FOOT TALL METAL GARAGE TO BE CONSTRUCTED BEHIND THE EXISTING PRIMARY RESIDENCE ON A RESIDENTIAL PROPERTY (RS-10M) LOCATED AT 33608 COLORADO STREET; APN: 0318-101-15.

RECOMMENDATION:

That the Planning Commission conduct a public hearing, and:

- A) Review the architectural design of the proposed accessory structure, and if it is acceptable, approve the design subject to the Conditions of Approval; and
- B) Adopt the Special Use Permit Findings as contained in the Agenda Report; and

- C) Adopt a Categorical Exemption pursuant to the California Environmental Quality Act of 1970 and the CEQA Guidelines, as amended, Section 15303 (Class 3); and
- D) Direct staff to file a Notice of Exemption.

ANNOUNCEMENTS

ADJOURNMENT

Notice Regarding Americans with Disability Act

The City of Yucaipa complies with the Americans with Disabilities Act of 1990. If you need special assistance to participate in this meeting, please call the City Clerk's Department at (909) 797-2489, during normal business hours, at least 48-hours prior to the meeting. Notification 48 hours prior to the meeting will enable the city to make reasonable accommodations to ensure accessibility to this meeting.

CEQA STATEMENT:

Unless stated otherwise on the agenda, every item on the agenda is exempt from CEQA guidelines sections 15060(c), 15061(b)(3), 15273, 15378, 15301, 15323 and/or Public Resource Code Section 21065.

Pursuant to Government Code Section 54957.5, any disclosable public records related to an open session item on a regular meeting agenda and distributed by the City of Yucaipa to all or a majority of the City Council, less than 72 hours prior to that meeting, are available for public inspection at Yucaipa City Hall, 34272 Yucaipa Boulevard, Yucaipa, CA 92399, during normal business hours.

NOTICE REGARDING CHALLENGES TO DECISIONS

Pursuant to all applicable laws and regulations, including without limitation, California Government Code Section 65009 and/or California Public Resources Code Section 21177, if you wish to challenge in court any of the below decisions (regarding planning, zoning and/or environmental decisions), you may be limited to raising only those issues you or someone else raised at the public hearing(s) described in this notice/agenda, or in written correspondence delivered to the city at, or prior to, this public hearing.

NOTICE REGARDING APPEALS

Appeals of a final action by the Planning Commission must be filed with the city clerk no later than ten (10) calendar days after the day on which the final action was taken, along with the appropriate fee.

AFFIDAVIT OF POSTING

State of California }
County of San Bernardino } ss.
City of Yucaipa }

I, Ana V. Sauseda, City Clerk of the City of Yucaipa, California, do hereby declare that the foregoing agenda was posted on 9/11/2025, at least seventy-two (72) hours prior to the meeting per Government Code 54954.2, at the following locations:

Yucaipa City Hall, 34272 Yucaipa Boulevard, Yucaipa, California
City of Yucaipa website www.yucaipa.gov

AVS
Ana V. Sauseda, MMC
City Clerk

POSTED
9/11/2025

Remove by: 9/18/2025



City of Yucaipa
PLANNING COMMISSION MINUTES
Regular Meeting of August 20, 2025

A Regular meeting of the Planning Commission of the City of Yucaipa, California was called to order in the Council Chambers, 34272 Yucaipa Boulevard, Yucaipa, on August 20, 2025, at 6:30 PM.

CALL TO ORDER

The meeting was called to order at 6:30 p.m.

PLEDGE OF ALLEGIANCE

The Pledge of Allegiance was led by Commissioner O'Brine.

PLANNING COMMISSION ROLL CALL

PRESENT: Stacey Phillips, Chairperson
Dennis Miller, Vice Chairperson
Mike McCuiston, Commissioner
Brandon Mihld, Commissioner
Timothy Mullins, Commissioner
Robert O'Brine, Commissioner

ABSENT: Tony Hicks, Commissioner

CITY STAFF: Benjamin Matlock, Deputy Director of Community Development/City Planner
Tuan Vu, Assistant City Attorney
Katie Syme, Development Services Technician
Maria Koolhoven, Planning Commission Assistant

PUBLIC COMMENT: No public comments on items not on the agenda.

CONSENT AGENDA

1. **SUBJECT:** APPROVE THE PLANNING COMMISSION MINUTES OF JULY 16, 2025.

RECOMMENDATION: That the Planning Commission approve the minutes of July 16, 2025.

ACTION: MOTION BY VICE-CHAIRPERSON MILLER, SECOND BY COMMISSIONER MIHLD, CARRIED, 5-1-1, TO APPROVE CONSENT AGENDA ITEM NO. 1 (COMMISSIONER HICKS ABSENT, COMMISSIONER MULLINS ABSTAINED).

PUBLIC HEARINGS

The order of Business for the Public Hearing Shall Be:

- A. Open Public Hearing
- B. Disclosure of Ex Parte Communications
- C. Staff Presentation
- D. Applicant/Representative Presentation (if necessary)
- E. Public Comments
- F. Applicant Rebuttal (if necessary)
- G. Public Hearing Closed
- H. Commission Discussion

PLANNING COMMISSION CONFLICT OF INTEREST DISCLOSURE

Chair Phillips asked if there were any conflicts to disclose. There were no items disclosed. Vice Chair Miller recused himself from Item #2 on the Agenda Report.

2. **SUBJECT: MIGLENA MINKOYA ON BEHALF OF GREEN TEAM WORLD** CASE NO. PLN-PHE-25-0002: A SPECIAL USE PERMIT FOR THE PLACEMENT OF THREE (3) 4'X4' USED CLOTHING COLLECTION BOXES BY THE GREEN TEAM WORLDWIDE ENVIRONMENTAL GROUP WITHIN ONE (1) PARKING SPOT ON A COMMERCIAL PROPERTY AT 33644 YUCAIPA BOULEVARD; APN: 0303-101-21.

CASE NO. PLN-PHE-25-0004: A SPECIAL USE PERMIT FOR THE PLACEMENT OF THREE (3) 4'X 4' USED CLOTHING COLLECTION BOXES BY THE GREEN TEAM WORLDWIDE ENVIRONMENTAL GROUP WITHIN ONE (1) PARKING SPOT ON A COMMERCIAL PROPERTY AT 31515 YUCAIPA BOULEVARD; APN: 0300-191-44.

RECOMMENDATION:

That the Planning Commission conduct a public hearing, and:

- A) Review the Special Use Permits affiliated with Case Nos. PLN-PHE-25-0002 and PLN-PHE-25-0004, and if it is acceptable, approve the designs subject to the Conditions of Approval; and
- B) Adopt a Categorical Exemption pursuant to the California Environmental Quality Act of 1970 and the CEQA Guidelines, as amended, Section 15303 (Class 3); and
- C) Direct staff to file a Notice of Exemption.

If the proposals are not deemed acceptable, the Planning Commission can deny the Special Use Permits affiliated with Case Nos. PLN-PHE-25-0002 and PLN-PHE-25-0004 and find that the Projects are exempt from environmental review pursuant to Section 15270 of the CEQA Guidelines.

- Public Hearing Opened

Chair Phillips opened the Public Hearing for Item No. PLN-PHE-25-0002 and PLN-PHE-25-0004.

- Staff Presentation

Development Services Technician Syme presented the Agenda Report.

- Applicant Presentation

The applicant's representative, Ivan Lyutskanov from Green Team World, stated that he understands the Commission's concerns, and he will be happy to answer any questions they may have. He assured the Commission that Green Team World is a professional organization and gave a brief overview of the company's operations and maintenance schedules.

The property owner's representative, Rod Mendenhall from VantageOne Real Estate Investments, stated that they sought this specific company because of how great their operation is. He understands safety and trash concerns and informed the Commission that their number one goal is to keep the tenants and the community happy.

Commissioner O'Brine asked Mr. Mendenhall to clarify that they had no concerns with the bins on their property, potentially collecting trash and being overrun with donations items. Mr. Mendenhall stated that they do have concerns. They have a security guard on the property every single night. He also explained that the bins were strategically located in clear view, and the property is being monitored with security cameras.

- Public Comments

The following members of the public spoke.

- Nyles O'Harra

- Applicant Rebuttal

Tom Robinson, with VantageOne Real Estate Investments addressed the Commission stating that he understands the trash and dumping concerns the Commissioners have; however, he stated that their security cameras record license plates and people have started to get fined and file civil lawsuits. Mr. Robinson stated that he is happy with Green Team World Company and informed the Commission that the lease with the company has a one-day termination should any problems arise.

- Public Hearing Closed

Chair Phillips closed the Public Hearing.

Commissioner Mihld stated that after hearing the discussion and the property owner's comments, that he is leaning towards giving them a one-year permit.

Chair Phillips stated that after hearing both sides of the discussion, and hearing that the property owner is in support of the bins on their property, she will consider it as well. Chair Phillips agrees

with Commissioner Mihld and would like to give them a one-year permit and have the company prove themselves or they will get removed from the site.

Commissioner Mullins expressed trash and dumping concerns around the bins.

Commissioner O’Brine expressed concerns at both locations and still has reservations about the bins.

ACTION: MOTION BY COMMISSIONER MIHLD, SECOND BY CHAIRPERSON PHILLIPS, CARRIED, 3-2-2-0 (COMMISSIONER MULLINS AND COMMISSIONER O’BRINE VOTED NO, VICE CHAIR MILLER RECUSED HIMSELF, COMMISSIONER HICKS ABSENT), TO APPROVE AGENDA ITEM NO. 2. WITH AN EMPHASIS TO AMEND CONDITION OF APPROVAL #3 FROM:

“THIS PERMIT APPROVAL IS FOR A TWENTYFOUR (24) MONTH PERIOD.”

TO

“THIS PERMIT APPROVAL IS FOR A TWELVE (12) MONTH PERIOD.”

3. **SUBJECT: MIKE McCUTCHEON** (PLN-PHE-25-0008): A SPECIAL USE PERMIT FOR THE ARCHITECTURAL REVIEW OF AN 800 (16'x50') SQUARE FOOT, 17-FOOT-TALL STEEL CARPORT PROPOSED TO BE CONSTRUCTED IN THE REAR OF THE PROPERTY LOCATED AT 37533 OAK MESA DRIVE; APN: 0322-841-18.

RECOMMENDATION:

That the Planning Commission conduct a public hearing, and:

- A) Review the architectural design of the proposed accessory structure, and if it is acceptable, approve the design subject to the Conditions of Approval; and
- B) Adopt the Special Use Permit Findings as contained in the Agenda Report; and
- C) Adopt a Categorical Exemption pursuant to the California Environmental Quality Act of 1970 and the CEQA Guidelines, as amended, Section 15303 (Class 3); and
- D) Direct staff to file a Notice of Exemption.

- Public Hearing Opened

Chair Phillips opened the Public Hearing for Item No. PLN-PHE-25-0008.

- Staff Presentation

Development Services Technician Syme presented the Agenda Report.

- Applicant Presentation

The applicant, Mike McCutcheon, thanked the Commission and stated that he would like to request approval of his project for the storage of his RV and to improve the appearance of his home.

- Public Comments

There were no public comments.

- Applicant Rebuttal

There was no applicant rebuttal.

- Public Hearing Closed

Chair Phillips closed the Public Hearing.

ACTION: MOTION BY COMMISSIONER MIHL, SECOND BY COMMISSIONER MCCUISTION, CARRIED, 6-0-1, (COMMISSIONER HICKS ABSENT) TO APPROVE AGENDA ITEM NO. 3.

ANNOUNCEMENTS: Deputy Director of Community Development / City Planner Benjamin Matlock invited the Commissioners to the Inland Empire American Planning Association, Planning Commissioner Workshop on September 4, 2025, from 6:00 PM - 9:00 PM in Eastvale. Mr. Matlock asked if anyone would like to attend to contact him and have staff make arrangements.

ADJOURNMENT:

The meeting adjourned at 7:19PM.

Benjamin Matlock
Deputy Director/City Planner

Stacey Phillips
Chair of the Planning Commission



AGENDA REPORT

DATE: Planning Commission Meeting of September 17, 2025

TO: Honorable Chairperson and Planning Commissioners

FROM: Katie Syme, Development Services Technician *KA*

SUBJECT: **Ken Munoz** (Case No. PLN-PHE-24-0008): A Special Use Permit for the Architectural Review of a 1,600 square foot, 16.5-foot tall metal garage to be constructed behind the existing primary residence on a residential property (RS-10M) located at 33608 Colorado Street; APN: 0318-101-15.

RECOMMENDATION:

That the Planning Commission conduct a public hearing, and:

- A) Review the architectural design of the proposed accessory structure, and if it is acceptable, approve the design subject to the Conditions of Approval; and
- B) Adopt the Special Use Permit Findings as contained in the Agenda Report; and
- C) Adopt a Categorical Exemption pursuant to the California Environmental Quality Act of 1970 and the CEQA Guidelines, as amended, Section 15303 (Class 3); and
- D) Direct staff to file a Notice of Exemption.

BACKGROUND:

Area Land Use Designations; Improvement Levels; and Existing Land Uses:

Site:	RS-10M (Single Residential; 10,000 square foot minimum)	IL-2	Single-family residence
North:	RS-10M	IL-2	Single-family residence
South:	RS-10M	IL-2	Single-family residence
East:	RS-10M	IL-2	Single-family residence
West:	RS-10M	IL-2	Single-family residence

DISCUSSION:

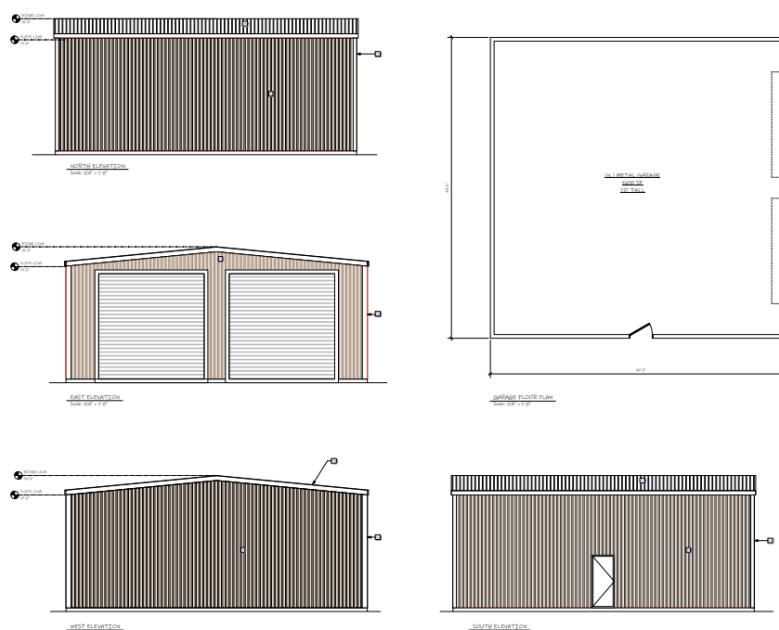
Special Use Permit for Architectural Review:

The applicant has submitted a Special Use Permit for the Architectural Review of a 1,600 square foot, 16.5-foot tall metal garage to be constructed on a single residential property. Pursuant to Development Code Section 84.0645(a), any detached structure larger than 1,200 square feet, more than 20 feet in height, or of an unconventional design, such as a metal garage, would first be required to obtain a Special Use Permit for approval of the architectural design from the Planning Commission.

The metal structure is proposed to be constructed on a 0.51-acre parcel located at 33608 Colorado Street in the RS-10M (Single-Residential, 10,000 square foot minimum lot size) Land Use District with single-family residential land uses generally surrounding the site. The proposed structure is intended to provide extra storage space for the applicant. The property is currently improved with a one-story residence that provides 1,428 square feet of living space and 474 square feet of non-habitable space (i.e. architectural features, patio, etc.) on-site. There are two existing storage structures that will be demolished as part of the scope for this Project.

The steel accessory structure will feature a gable roof and will be enclosed on all four (4) sides. The structure will have fifteen (15) feet of vertical clearance but will pitch toward the center with a peak height of about sixteen and a half (16.5) feet. The exterior elevations include tan painted vertical-ribbed steel panels with white trim and roofing. Similar to other SUP/ARC projects, the proposed architectural elements will best ensure compatibility with the home and other neighboring residential land uses, especially as the structure would be visible from Colorado Street. and the design is oriented to include its door along the street-facing side.

RENDERING OF PROPOSED STRUCTURE:



The structure is proposed to be constructed in the northwestern portion of the property, approximately 25 feet from the primary residence, 128 feet from the front/south property line, 5 feet from the side/west property line, 35 feet from the side/east property line, and 95 feet from the rear/south property line. Ingress and egress will be provided by the existing driveway at the front of the property along Colorado Street. Pursuant to the Development Code, the structure shall meet all development standards associated with the Single-Residential Land Use District. Furthermore, the proposed location of the structure meets all setback requirements for structures in this district according to the attached plans, elevations, and site photos.

Processing and Procedural Actions:

Notices of the Project were sent to all surrounding contiguous property owners, and no comments were received.

Staff is recommending that the Project is Categorically Exempt from the California Environmental Quality Act (CEQA), pursuant to Section 15303 of the CEQA Guidelines (Class 3 – Small Structures), as the Project consists of a small, steel structure to be used as an accessory structure.

CONCLUSION:

The Project meets the standards for access and site design. The required findings and Conditions for approval of the Special Use Permit for the accessory structure have been provided.

Attachment(s):

1. Findings for Special Use Permit
2. Land Use & Location Map
3. Site Photos
4. Conditions of Approval
5. Site Plan and Building Elevations

Approved by:

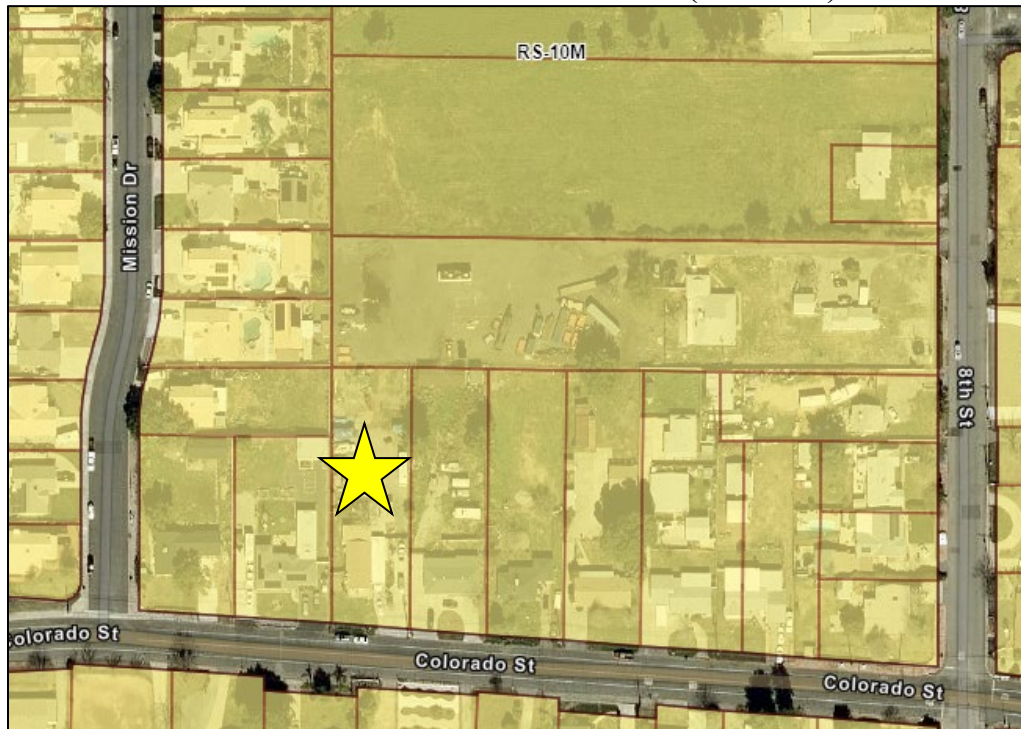


Benjamin Matlock, Deputy Director of Development Services/City Planner
Development Services Department

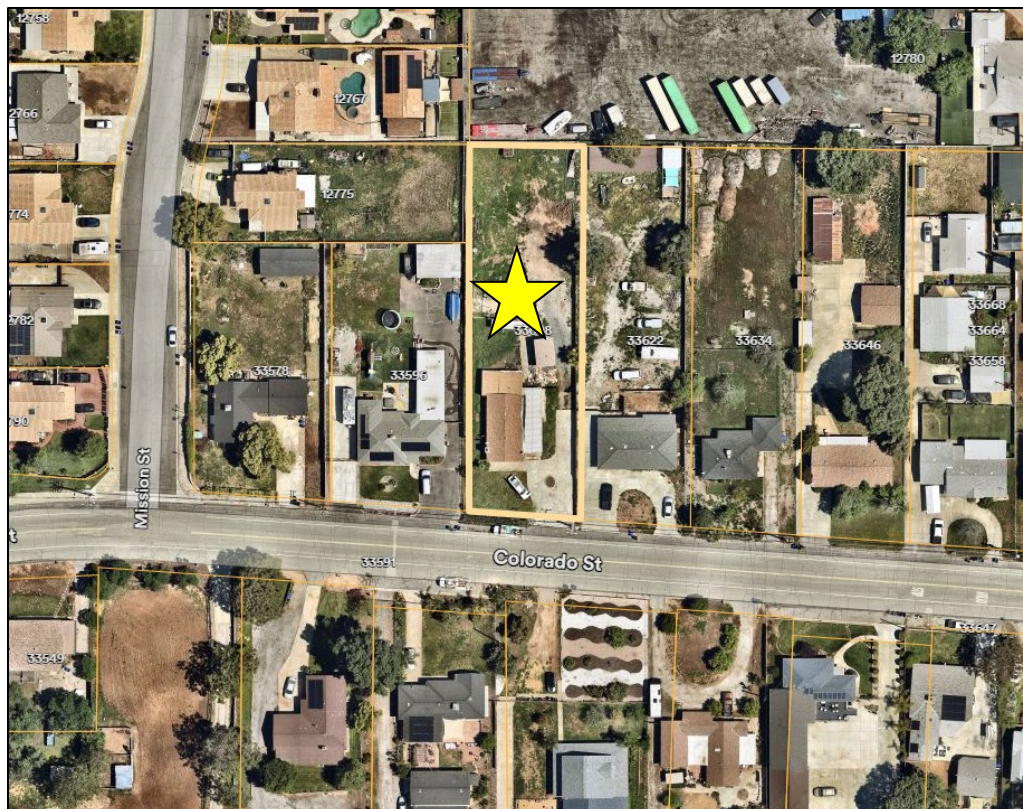
FINDINGS: SPECIAL USE PERMIT NO. PLN-PHE-24-0008

1. The site for the proposed use is adequate in size and shape to accommodate said use and all yards, building coverage, parking area, and other requirements of the Code, because the subject property is 0.51 acres in size and is adequate in area to accommodate the accessory structure.
2. The accessory structure will be subordinate in size to the existing single-family residence. Its location and appearance are minimized as the structure will be over 128 feet away from the street. Additionally, the color of the structure complements the property's existing residence to provide greater compatibility for the site and the other surrounding residential land uses.
3. Issuance of the permit shall not be detrimental to the public health, safety, or welfare, or injurious to the property or improvements in the vicinity and district in which the use is located, because the lawful conditions and building code requirements required for this structure to be built will ensure adequate circulation, drainage, and fire protection.
4. The appearance of the detached accessory structure and the method of construction are compatible with the surrounding built environment, because the building is compatible in size and height with surrounding houses and accessory structures, and will be required to obtain a building permit, ensuring that it has been built consistent with conceptual plans to be more compatible with the existing single-family residence on-site.

LAND USE: SINGLE-RESIDENTIAL (RS-10M)



SITE LOCATION:



SITE PHOTOS:





Ken Munoz
Case No. PLN-PHE-24-0008
Conditions of Approval; 09-17-2025

SPECIAL USE PERMIT

CONDITION – <i>Note: The gold header which each Condition falls under is the timing metric for establishing when that Condition shall be satisfied.</i>	DATE SATISFIED & STAFF INITIALS
ON-GOING CONDITIONS/GENERAL REQUIREMENTS:	
PLANNING DIVISION (909) 797-2489 EXT. 224	
1. This Special Use Permit is for the Architectural Review of a 1,600 square foot, 16.5-foot tall metal garage to be constructed behind the existing primary residence on a residential property (RS-10M) located at 33608 Colorado Street; APN: 0318-101-15. Any alteration or expansion of these facilities, or increase in the developed area of the site from that shown on the approved site plan, may require the submission of a new application or an additional application for Revisions for review and approval.	
2. The applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any claim, action or proceeding attacking or seeking to set aside, void or annul the approval of all or part of the matters applied for, or any other claim, action or proceeding relating to or arising out of such approval. This obligation includes the obligation to reimburse the City, its agents, officers and employees for any court costs or attorney fees which the City, its agents, officers, or employees are required by a court to pay as a result of such claim, action or proceeding. The City agrees to notify the applicant of any such claim, action or proceeding promptly after the City becomes aware of it. The City may participate in the defense of the claim, action or proceeding, but such participation will not relieve the applicant of applicant's defense and indemnification obligations, including City expenses.	
3. This Special Use Permit shall become null and void if all conditions have not been complied with and the occupancy or use of the land has not taken place within three (3) years of the date of approval. One extension of time, not to exceed three (3) years, may be granted upon written request and submittal of the appropriate fee not less than 30 days prior to the date of expiration. PLEASE NOTE: this will be the only notice given for the above specified expiration date. The applicant is responsible for the initiation of an extension request.	
4. A Categorical Exemption is being issued for this project, pursuant to the California Environmental Quality Act of 1970 and the CEQA Guidelines, as amended. The applicant/owner shall deliver a \$50.00 administrative handling fee to the Planning Division within five (5) days after the effective date of conditional approval. Payments shall be made with a Check, Money Order or Cashier's Check for \$50.00 made payable to the "Clerk of the Board". The Planning Division shall then file the Notice of Exemption with	

the Clerk. Proof of fee payment will be required prior to issuance of building permit.	
5. All conditions of this Special Use Permit are continuing conditions. Failure of the applicant and/or operator to comply with any or all of said conditions at any time may result in the revocation of the permit granted to use the property.	
6. Commercial uses within the Single Residential Land Use Districts are strictly prohibited. The detached accessory structure shall not be used for commercial purposes.	
<u>ENGINEERING DEPARTMENT (909) 797-2489 EXT. 228</u>	
7. Applicant shall demonstrate that the site does not create concentrated discharges to adjacent properties and/or public right-of-way in excess of historical flows. If project does create concentrated or sheet flows off-site that are greater than historical, the applicant shall demonstrate that the downstream facilities can accommodate flows; otherwise, applicant shall provide on-site detention for excess flows in accordance with the approved WQMP.	
8. Continuous water spraying or other approved methods must be used during grading operations to control fugitive dust.	
<u>FIRE DEPARTMENT (909) 797-2489 EXT. 246</u>	
9. This project is protected by the Yucaipa Fire Department / CalFire. Prior to any construction occurring on any parcel, the applicant shall contact the Fire Marshall for verification of current fire protection development requirements. All new construction shall comply with the adopted California Fire Code and all applicable statutes, codes, ordinances, standards and policies of the Yucaipa Fire Department/CalFire.	
10. This project is in a Fire Safety Review Area 2. This is a high fire hazard brush area. This project shall comply with the construction and development standards for a FR-2 Area. Contact the City Building & Safety Division for FR-2 Area construction and development standards.	
11. Fire Department access roads and/or public/private streets and residential driveways shall have a minimum vertical clearance of thirteen (13) feet and six (6) inches.	
12. Fire Department access roadways and/or public/private streets and driveways shall not exceed 12% grade (please note: Engineering Division requirements may be more restrictive).	
13. Required fire flow for this project, as determined by California Fire Code Appendix 'B', is as follows: GPM = 1,500 at 20 psi residual; for minimum 2 hour duration. A reduction in the required fire flow rate may be allowed per	

the exceptions specified in the California Fire Code. System shall be looped with minimum eight (8) inch mains; six (6) inch laterals; six (6) inch risers; six (6) inch diameter hydrants with one 2 ½" outlet and one 4" outlet.	
14. Approved fire hydrants capable of supplying required fire flow shall be provided to all premises upon which facilities, buildings or portions of buildings are constructed or moved within the jurisdiction. When any portion of the facility or building protected is in excess of 400 feet from a fire hydrant on a public street, as measured by an approved route around the exterior of the facility or building, additional fire hydrants meeting the required fire flow shall be provided.	
15. Fire hydrants shall be installed at locations to be determined by the California Fire Code (2022) Appendix "C". Required fire flow to be determined by the California Fire Code (2022) Appendix "B". Minimum fire flow shall not be less than 1500 gpm.	
THE FOLLOWING CONDITIONS SHALL BE MET PRIOR TO ISSUANCE OF A GRADING PERMIT:	
<u>ENGINEERING DEPARTMENT (909) 797-2489 EXT. 228</u>	
16. Groundwater pollution from urban run-off water generated by the project shall be mitigated using various structural and non-structural best management practices (BMPs), per the requirements of the California Regional Water Quality Control Board, Santa Ana Region and/or as indicated in the "New Development/Redevelopment Guidelines." All provisions of the Water Quality Management Plan (WQMP) consistent with the 2010 MS4 permit and most recent regulatory mandates shall be met.	
17. The applicant's plans indicate approximately 40% of the site to be improved with impervious surfaces. Design features shall be included to direct storm water run-off flows into landscaped pervious areas before any run-off flows into public rights-of-way.	
THE FOLLOWING CONDITIONS SHALL BE MET PRIOR TO ISSUANCE OF A BUILDING PERMIT:	
<u>FIRE DEPARTMENT (909) 797-2489 EXT. 246</u>	
18. A fuel break of one hundred (100) feet (brush and weed clearance) is required prior to construction. The clearance shall be maintained on a year-round basis.	
19. Fire hydrants shall be installed and operational as per approved water system delivery plans prior to any framing, construction, or delivery of combustible materials to project site.	
20. An alternative type of construction providing a higher level of fire resistance is required. Contact the City Building Department for more information.	

PLANNING DIVISION (909) 797-2489 EXT. 224

21. Proof of fee payment of Fish and Game fees and/or County Administrative handling fees pursuant to California State Assembly Bill 3158 shall be submitted.

22. Provide detailed building elevations including materials, finishes, colors, and signage for all buildings for Planning Division review and approval prior to issuance of building permits. Building elevations shall be consistent with those approved by the Planning Commission.

BUILDING AND SAFETY DIVISION (909) 797-2489 EXT. 263

23. This project will require one or more building permits. Permits will require a complete permit application and complete building plans to be submitted for approval prior to commencement of work.

24. Metal structures require that the foundation and site plans be designed for local conditions by a Licensed California Engineer. The site plan and structural calculations shall be submitted as part of the complete plan for review.

25. Per Yucaipa Valley Water District regulations, no waste line cleanouts or back water valves shall be installed inside a garage.

26. Separate submittals and permits are required for all structures, accessory structures such as, but not limited to, trash enclosures, patios, trellises, gazebos block walls, signage, and storage buildings.

27. Pursuant to California Business and Professions Code Section 6737, this project is required to be designed by a California licensed architect or engineer.

SUBJECT PROPERTY SHALL NOT BE OCCUPIED AND/OR USED FOR PURPOSES APPLIED FOR UNTIL THE FOLLOWING CONDITIONS HAVE BEEN MET:

FIRE DEPARTMENT (909) 797-2489 EXT. 246

28. Residential driveways shall be paved (asphalt/concrete) and shall have a minimum width of twelve (12) feet. Driveways of this standard shall serve no more than two single family dwellings and shall not exceed 12% in grade.

29. Driveways exceeding 150 feet shall have a Fire Department approved turn-around at the terminus (hammer-head tee).

30. Fire Department access roadways and/or public/private streets and driveways shall extend to within one hundred fifty (150) feet of and shall give reasonable access to all portions of the exterior walls of the first story of any building. An access road, approved by the Fire Department, shall be provided to within fifty (50) feet of all structures when the natural grade between access road and structure is in excess of 30%. Where an approved access road

cannot be provided, a fire protection system shall be required and approved by the Fire Department.	
31. Manual operated gates across Fire Department access roadways, public and/or private streets and driveways, shall be equipped with approved emergency key-operated ("Knox" type) locks. For automatic gates, a "Knox" keyed emergency access switch shall be installed at location determined by Fire Department, and shall over-ride all command functions and open gate automatically upon activation. All automatic gates shall have a manual over-ride for use during loss of electric power. "Knox box" request forms are available from the Fire Department.	
32. Address numbers shall be placed on all new and existing residential structures in such a manner as to be plainly visible and legible from the access roadway or street. Single family dwellings shall have numbers of 4" height, 3/8" stroke on contrasting background. Address numbers shall be low voltage, automatically electrically illuminated. Where structure setback exceeds one hundred (100) feet from the access roadway or street, additional non-illuminated numbers 4" in height, 3/8" stroke, on contrasting background shall be displayed at property access entrance.	
33. Approved fire hydrant pavement markers shall be installed.	
34. Residential automatic fire sprinklers may be required to be installed according to NFPA 13D, or Section R313 of the California Residential Code, and Fire Department requirements depending on fire hydrant location and fire flow test (flow test from water department must be submitted) . Submit plans with material cut sheets and hydraulic calculations for Fire Department review and approval prior to an installation. Submit copy of California C-16 license. Minimum water meter supplying a 13D system shall be 1" steel pipe, or 3/4" if other than steel pipe. Minimum pipe size for interior use shall be 1" steel pipe, or 3/4" if other than steel pipe (actual pipe size to be hydraulically calculated). Residential sprinkler heads of proper temperature rating shall be installed in attic and built-up storage spaces where mechanical equipment (fau, water heater, etc.) is installed.	
35. Smoke detectors, hard wired with battery back-up, shall be installed in all sleeping areas and in all hallways leading to sleeping areas. Smoke detectors shall be installed at the top of all stairways.	
36. Carbon Monoxide detectors shall be installed pursuant to manufacturer specifications.	
37. For each chimney used in conjunction with any fireplace or heating appliance in which solid or liquid fuel is used, an approved spark arrester shall be installed and visible from the ground. Spark arrester shall be of stainless steel, copper or brass, woven galvanized wire mesh, twelve (12) gauge, and minimum of 3/8" to 1/2" maximum openings. (existing residence)	

38. A class “A” roof covering structure with “bird stops” shall be installed.	
39. High Fire Hazard Areas FR-1 & FR-2: one-hour fire resistive construction is required for exterior walls. Contact Building and Safety / Fire Prevention for more information.	
40. The main electrical panel and all sub-panels shall be labeled on inside cover for all circuits.	
41. Water heater (fuel fired) shall be properly vented to exterior of structure. Water heater shall be seismic strapped to wall and be located 18” above a garage floor.	
<u>PLANNING DIVISION (909) 797-2489 EXT. 224</u>	
42. Any lights used to illuminate the site shall be hooded and designed so as to reflect away from adjoining properties and public thoroughfares.	
43. The proposed structure shall be painted to match the colors of the residence per the approved color palette.	
44. The proposed structure shall be constructed to minimize its location and appearance from the street.	



OWNER OF RECORD

KEN MUÑOZ
33608 COLORADO ST
YUCAIPA, CA 92399

SITE INFORMATION:

APN: 0318-101-15

SITE SIZE= 18,343 SQ. FT.

PLANT AND TREE PROTECTION
NO SUCH TREES EXIST- IF ANY OAK TREES ARE CUT DOWN,
A PERMIT MUST BE APLIED FOR.

EASEMENTS

NO EASEMENTS

DRAINAGE

PROPERTY IS GENERALLY FLAT WITH NO DRAINAGE
COURSES

BUILDING SQ. FT.

HOUSE= 1,950 SF

PATIOS= 417 SF

(N.) METAL BUILDING= 1,600 SF

TOTAL LOT COVERAGE

HOUSE/ PATIO = 2,367 SF

NEW GARAGE= 1,600 SF

PROPOSED ADU= 750 SF

PAVED AREAS= 4,016 SF

TOTAL= 8,733 SF/ 18,343= 47%

PROJECT DESCRIPTION

PROJECT CONSISTS OF THE ADDITION OF A NEW 1600 SF
METAL GARAGE TO BE ADDED TO THE REAR OF THE
PROPERTY. THE COLORS WITH MATCH W/ EXISTING HOUSE
AND SHALL NOT EXCEED HEIGHT OF EXISTING HOUSE- 16'-6"
MAX.

LEGAL DESCRIPTION

DESCRIPTION: THE LAND REFERRED TO HEREIN IS
SITUATED IN THE COUNTY OF SAN BERNARDINO, STATE
OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

THE WESTERLY 81.6 FEET OF BLOCK 121, ACCORDING TO
MAP OF SUBDIVISION NO 4 OF A PART OF YUCAIPA
VALLEY, IN THE CITY OF YUCAIPA, COUNTY OF SAN
BERNARDINO, STATE OF CALIFORNIA, AS SHOWN BY MAP
ON FILE IN BOOK 19

PAGES 19 AND 20 OF MAPS, RECORDS OF SAN BERNARDINO
COUNTY, CALIFORNIA.

EXCEPTING THE NORTHERLY 575.7 FEET THEREOF.

AREAS AND DISTANCE ARE COMPUTED TO THE CENTERS
OF ADJOINING STREETS AS SHOWN ON SAID MAP.
ANY OAK TREE IS SUBJECT TO A OAK TREE
REMOVAL PERMIT PRIOR TO REMOVING-
IF APPLICABLE



SITE

UTILITIES

WATER/ SEWER- NO PROPOSED
WATER OR SEWER IN THE GARAGE
YUCAIPA VALLEY WATER
12770 2ND STREET
YUCAIPA, CA 92399
909-797-5117

ELECTRIC

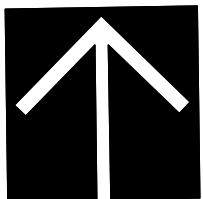
SOUTHERN CALIFORNIA EDISON
787 TENNESSEE ST.
REDLANDS, CA 92373
909-307-6731

GAS:

SOUTHERN CALIFORNIA GAS
PO BOX 3003
REDLANDS, CA 92373
800-443-3466

SITE PLAN

Scale: 1/16" = 1'-0"



Designer:

OakRidge

Design & Development, Inc.

300 east state st. ste.#360- redlands, ca 92373
Phone: 909.793.9444 email:oakridgedd@gmail.com

Owner / Applicant:

Ken Munoz
33608 Colorado St
Yucaipa, CA 92399

SUP

SITE PLAN

Job Title:

Sheet Title:

Issues:

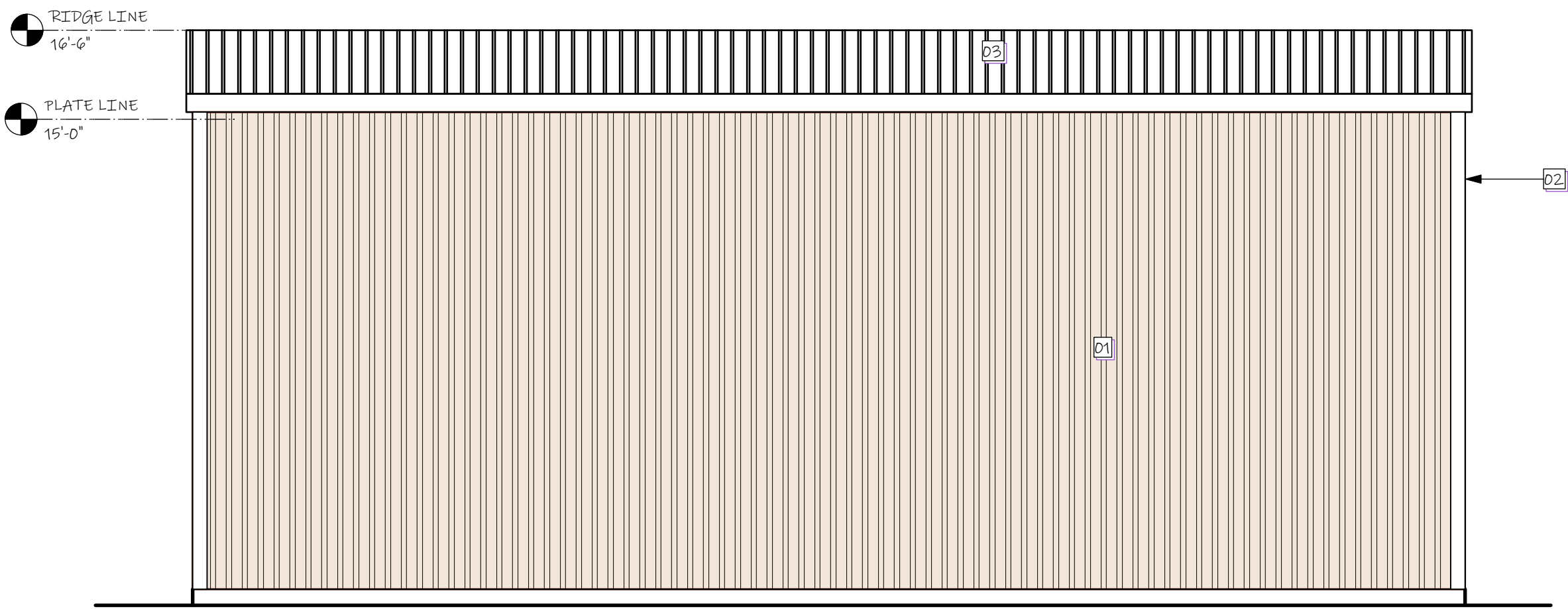
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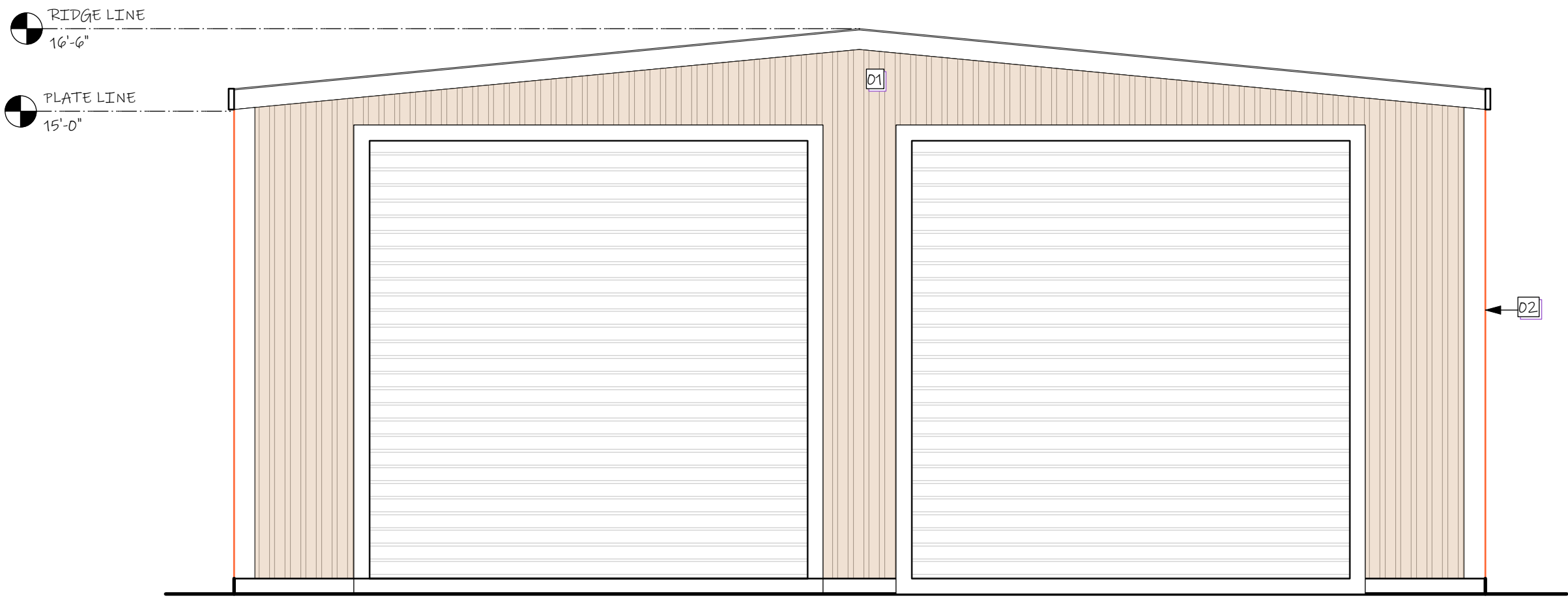
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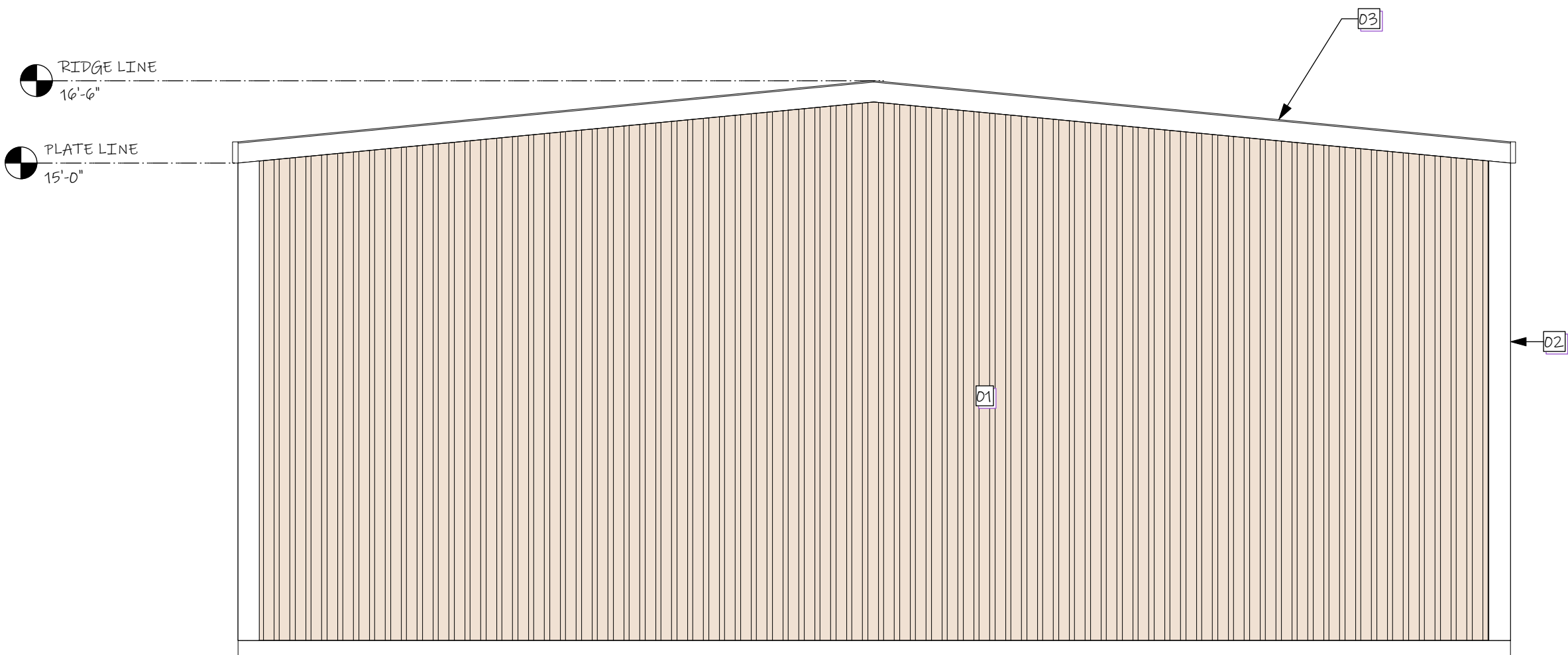
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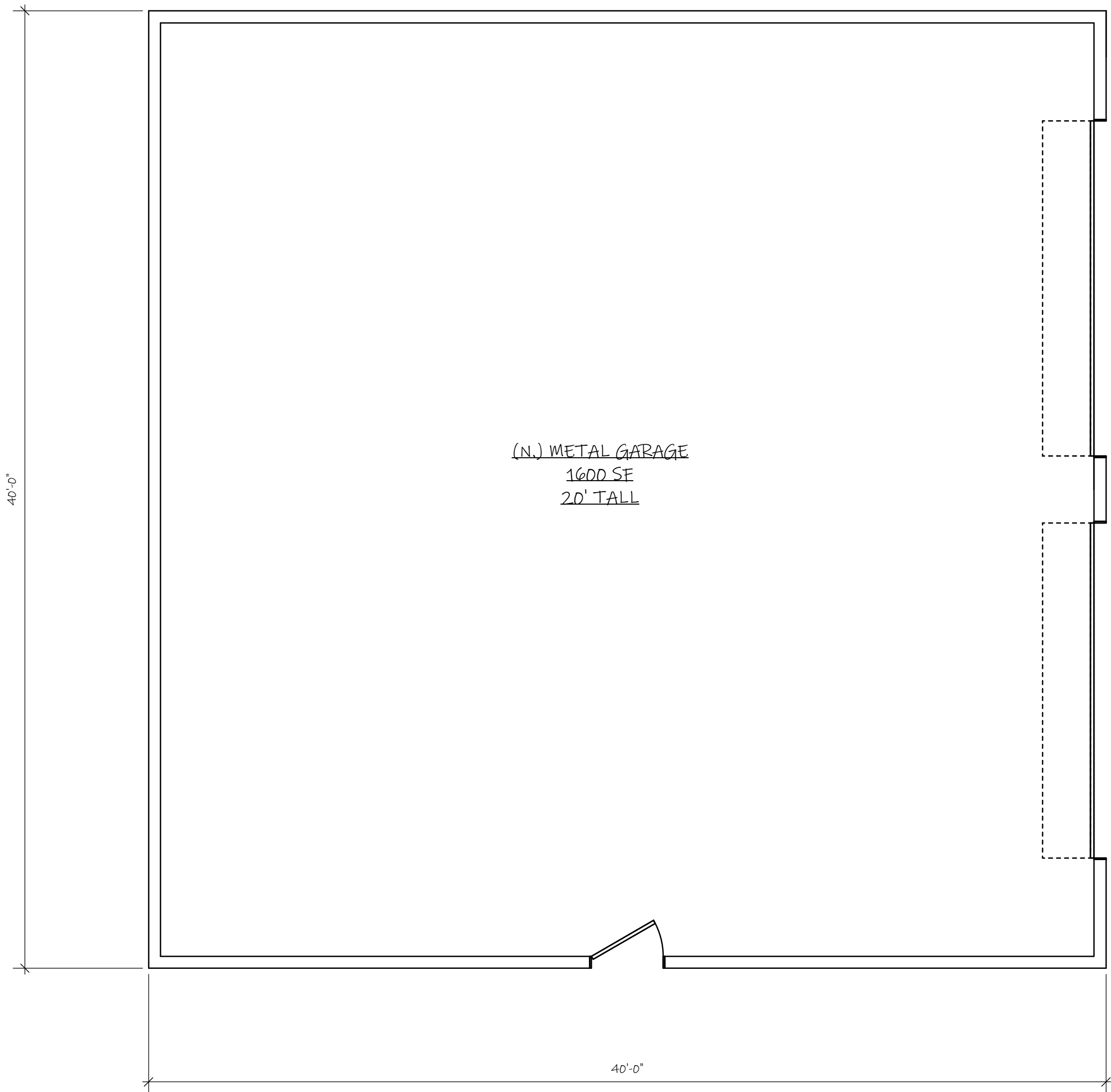
NORTH ELEVATION
Scale: 1/4" = 1'-0"



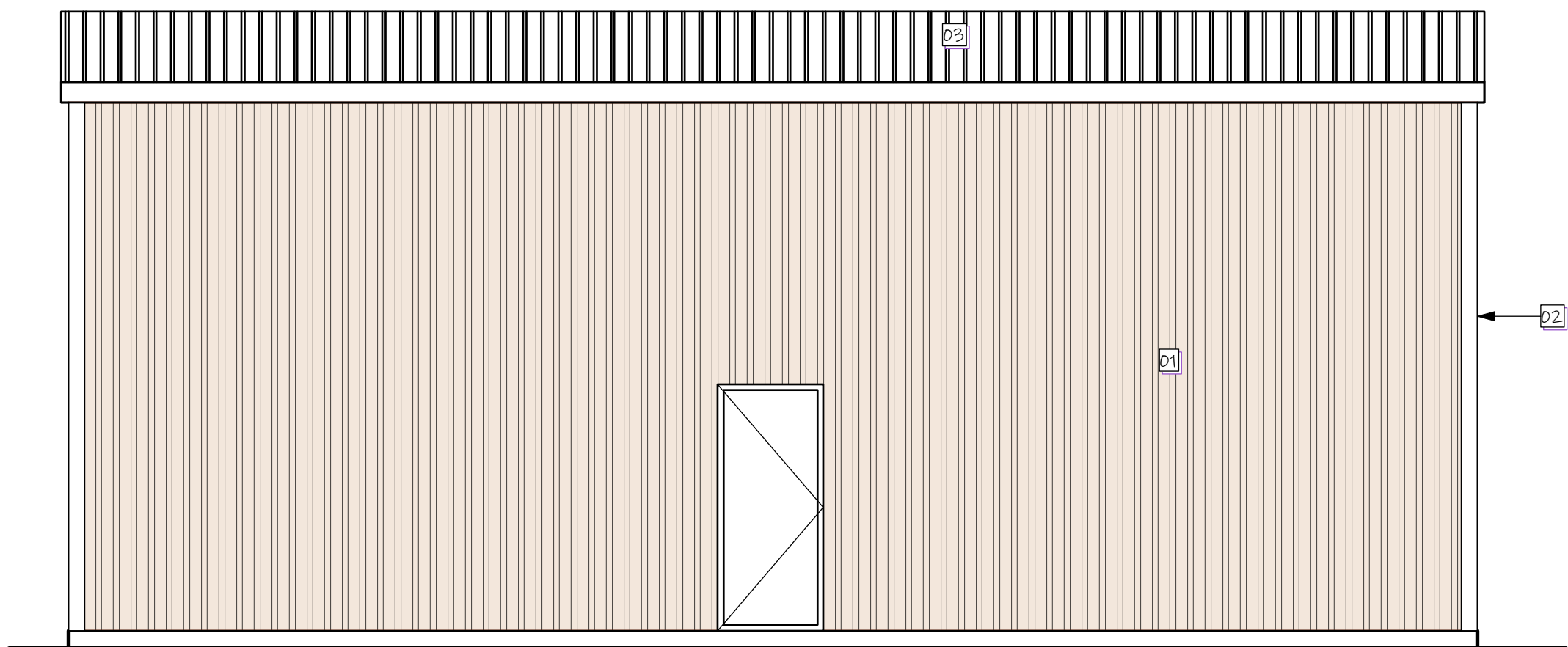
EAST ELEVATION
Scale: 1/4" = 1'-0"



WEST ELEVATION
Scale: 1/4" = 1'-0"



GARAGE FLOOR PLAN
Scale: 1/4" = 1'-0"



SOUTH ELEVATION
Scale: 1/4" = 1'-0"

KEYNOTES

- D1 TAN METAL SIDING TO MATCH HOUSE
- D2 WHITE ACCENT METAL TRIM
- D3 WHITE STANDING SEAM ROOFING TO MATCH

Designer:
OakRidge
Design & Development, Inc.
300 east state st. ste.#360- redlands, ca 92373
phone: 909.793.9444 email:oakridgeadd@gmail.com

Owner / Applicant:
Ken Munoz
33608 Colorado St
Yucaipa, CA 92399

Job Title:
Remodel & Addition

Sheet Title:
SUP PLAN/ ELEVATIONS

Issues:

Scale:

Date: November 8, 2024

Drawn By:
C.S.

Sheet Number

A-1.1