

CITY OF



*Stacey Chester, Chair
Dennis Miller, Vice Chair
Tony Hicks, Commissioner
Mike McCuiston, Commissioner
Brandon Mihld, Commissioner
Timothy Mullins, Commissioner
Robert O'Brine, Commissioner*

AGENDA

Planning Commission

May 21, 2025

6:30 PM

**Yucaipa City Hall - City Council Chambers
34272 Yucaipa Blvd., Yucaipa, California**

Public Comment Via Mail or Email

Items must be submitted no later than three (3) business hours prior to the meeting at which the commenter seeks to provide comment. Public comment may be submitted via U.S. Mail to the City Clerk at 34272 Yucaipa Blvd., Yucaipa, CA 92399 or via email to publiccomment@yucaipa.gov. All mail and email correspondence will be archived, distributed to the Planning Commission, and retained as part of the public record; however, submissions will not be read out loud during the meeting. The subject line should specify "Public Comment-Planning Commission" and include the date of the meeting.

Written public comment submitted on non-agenda items and on specific agenda items will be made available to the public pursuant to the City of Yucaipa policy regarding the distribution of written public comments at City Council and Commission meetings, which may be accessed on the City's website at <https://yucaipa.gov/agendas-minutes/>. Individuals should be aware that comments provided, including personal information, may be disclosable pursuant to the California Public Records Act.

Live stream/recording of Planning Commission meetings:

Members of the public may watch city council meetings live at: <https://yucaipa.gov/live>.

Possible Live Stream Disruptions:

While the City of Yucaipa strives for uninterrupted streaming, technical issues may occasionally occur. We ask for your understanding and patience should there be any disruptions during the live broadcast. We will work diligently to resolve any issues promptly, however, please be advised that the City Council meeting may continue in person while such issues are resolved. Every attempt will be made for the meeting to be recorded and made available for viewing after its conclusion.

CALL TO ORDER

PLEDGE OF ALLEGIANCE

ROLL CALL

PUBLIC COMMENT

LIMIT 3 MINUTES

CONSENT AGENDA

The following Consent Agenda items are expected to be routine and non-controversial. The Planning Commission will act upon them, at one time, without discussion. Any Commissioner or staff member may request removal of an item from the Consent Agenda for discussion.

1. **SUBJECT:** APPROVE THE PLANNING COMMISSION MINUTES OF MAY 7, 2025

RECOMMENDATION: That the Planning Commission approve the minutes of May 7, 2025.

PUBLIC HEARINGS

The order of Business for the Public Hearing Shall Be:

- A. Open Public Hearing
- B. Disclosure of Ex Parte Communications
- C. Staff Presentation
- D. Applicant/Representative Presentation (if necessary)
- E. Public Comments
- F. Applicant Rebuttal (if necessary)
- G. Public Hearing Closed
- H. Commission Discussion

2. **SUBJECT:** JOSE GUERRERO (PLN-PHE-24-0002): A SPECIAL USE PERMIT FOR THE ARCHITECTURAL REVIEW OF AN EXISTING, UNPERMITTED, 21.5-FOOT TALL AND 2,500 SQUARE FOOT STEEL ACCESSORY STRUCTURE ASSOCIATED WITH THE EXISTING RESIDENCE AND PROPOSED SECOND, 24.3-FOOT TALL AND 4,555 SQUARE FOOT RESIDENCE (CASE NO. PLN-ADM-25-0003) ON A SINGLE-FAMILY RESIDENTIAL (RS-72C) PROPERTY LOCATED AT 10922 BRYANT STREET.

RECOMMENDATION:

That the Planning Commission conduct a public hearing, and:

- A) Review the architectural design of the existing, unpermitted metal structure, and if it is acceptable, approve the design subject to the Conditions of Approval; and
- B) Adopt the Special Use Permit Findings as contained in the Agenda Report; and
- C) Adopt a Categorical Exemption pursuant to the California Environmental Quality Act of 1970 and the CEQA Guidelines, as amended, Section 15303 (Class 3); and
- D) Direct staff to file a Notice of Exemption.

3. **SUBJECT:** AIDA AND LARRY KEEPERS (PLN-PHE-25-0007): A SPECIAL USE PERMIT FOR THE ARCHITECTURAL REVIEW OF A 612 SQ. FT. ALUMAWOOD PATIO COVER ADDITION TO AN EXISTING, DETACHED 1190 SQ. FT. ACCESSORY DWELLING UNIT ON A SINGLE-RESIDENTIAL PROPERTY (RS-10M) AT 13469 DOUGLAS STREET, UNIT #2.

RECOMMENDATION:

That the Planning Commission conduct a public hearing, and:

- A) Review the architectural design of the proposed accessory structure, and if it is acceptable, approve the design subject to the Conditions of Approval; and
- B) Adopt the Special Use Permit Findings as contained in the Agenda Report; and
- C) Adopt a Categorical Exemption pursuant to the California Environmental Quality Act of 1970 and the CEQA Guidelines, as amended, Section 15303 (Class 3); and
- D) Direct staff to file a Notice of Exemption.

DISCUSSION ITEM

4. **SUBJECT:** DRAFT SEVEN YEAR CAPITAL IMPROVEMENT PROGRAM (CIP)

RECOMMENDATION:

That the Planning Commission review the Draft Seven Year Capital Improvement Program, and adopt the Finding as contained in the Agenda Report.

ANNOUNCEMENTS

ADJOURNMENT

Notice Regarding Americans with Disability Act

The City of Yucaipa complies with the Americans with Disabilities Act of 1990. If you need special assistance to participate in this meeting, please call the City Clerk's Department at (909) 797-2489, during normal business hours, at least 48-hours prior to the meeting. Notification 48 hours prior to the meeting will enable the city to make reasonable accommodations to ensure accessibility to this meeting.

CEQA STATEMENT:

Unless stated otherwise on the agenda, every item on the agenda is exempt from CEQA guidelines sections 15060(c), 15061(b)(3), 15273, 15378, 15301, 15323 and/or Public Resource Code Section 21065.

Pursuant to Government Code Section 54957.5, any disclosable public records related to an open session item on a regular meeting agenda and distributed by the City of Yucaipa to all or a majority of the City Council, less than 72 hours prior to that meeting, are available for public inspection at Yucaipa City Hall, 34272 Yucaipa Boulevard, Yucaipa, CA 92399, during normal business hours.

NOTICE REGARDING CHALLENGES TO DECISIONS

Pursuant to all applicable laws and regulations, including without limitation, California Government Code Section 65009 and/or California Public Resources Code Section 21177, if you wish to challenge in court any of the below decisions (regarding planning, zoning and/or environmental decisions), you may be limited to raising only those issues you or someone else raised at the public hearing(s) described in this notice/agenda, or in written correspondence delivered to the city at, or prior to, this public hearing.

NOTICE REGARDING APPEALS

Appeals of a final action by the Planning Commission must be filed with the city clerk no later than ten (10) calendar days after the day on which the final action was taken, along with the appropriate fee.

AFFIDAVIT OF POSTING	
State of California	}
County of San Bernardino	} ss.
City of Yucaipa	}
 I, Ana V. Sauseda, City Clerk of the City of Yucaipa, California, do hereby declare that the foregoing agenda was posted on 5/15/2025, at least seventy-two (72) hours prior to the meeting per Government Code 54954.2, at the following locations: Yucaipa City Hall, 34272 Yucaipa Boulevard, Yucaipa, California City of Yucaipa website www.yucaipa.gov  Ana V. Sauseda, MMC City Clerk	



Remove by: 5/22/2025

City of Yucaipa
PLANNING COMMISSION MINUTES
Regular Meeting of May 7, 2025

A Regular meeting of the Planning Commission of the City of Yucaipa, California was called to order in the Council Chambers, 34272 Yucaipa Boulevard, Yucaipa, on May 7, 2025, at 6:30 PM.

PRESENT: Dennis Miller, Vice Chair
Tony Hicks, Commissioner
Mike McCuistion, Commissioner
Brandon Mihld, Commissioner
Timothy Mullins, Commissioner
Robert O’Brine, Commissioner

ABSENT: Stacey Chester, Chair

CITY STAFF: Benjamin Matlock, Deputy Director of Community Development/City Planner
Tuan Vu, Assistant City Attorney
Katrina Kunkel, Associate Engineer
Christian Farmer, Associate Planner
Maria Koolhoven, Planning Commission Assistant

CALL TO ORDER

The meeting was called to order at 6:30 p.m.

PLEDGE OF ALLEGIANCE

The Pledge of Allegiance was led by Vice Chair Dennis Miller.

ROLL CALL

PUBLIC COMMENT:

The following members of the public spoke:

- Kim Nelson
- Craig Johnson
- Rich Hess

CONSENT AGENDA

The following Consent Agenda items are expected to be routine and non-controversial. The Planning Commission will act upon them, at one time, without discussion. Any Commissioner or staff member may request removal of an item from the Consent Agenda for discussion.

1. **SUBJECT:** APPROVE THE PLANNING COMMISSION MINUTES OF MARCH 19, 2025.

RECOMMENDATION: That the Planning Commission approve the minutes of March 19, 2025.

ACTION: MOTION BY COMMISSIONER MIHL, SECOND BY COMMISSIONER MULLINS, CARRIED, 5-1-1 (CHAIR CHESTER ABSENT AND COMMISSIONER HICK ABSTAINED), TO APPROVE CONSENT AGENDA ITEM NO. 1.

PUBLIC HEARINGS

The order of Business for the Public Hearing Shall Be:

- A. Open Public Hearing
- B. Disclosure of Ex Parte Communications
- C. Staff Presentation
- D. Applicant/Representative Presentation (if necessary)
- E. Public Comments
- F. Applicant Rebuttal (if necessary)
- G. Public Hearing Closed
- H. Commission Discussion

Vice Chair Miller stated that he would recuse himself from item number three, due to the fact that he has conducted business with relatives of the property owners. Commissioners McCuiston, Hicks, Mihl, Mullins and O'Brine had no ex parte communications to disclose on any of the items on the agenda.

2. **SUBJECT:** **TECK PROPERTIES** (CASE NO. 23-088/89/CUP/ARC/VAR): A CONDITIONAL USE PERMIT (CUP) AND MAJOR VARIANCE (MJV) FOR THE DEVELOPMENT OF A BUSINESS PARK IN THE GENERAL COMMERCIAL (CG) LAND USE DISTRICT. THE PROPOSED PROJECT CONSISTS OF 47 INDIVIDUAL TWO-STORY BUSINESS/OFFICE UNITS, WITH 6 INTERIOR FLOOR PLANS RANGING FROM 1,542 SQUARE FEET UP TO 2,990 SQUARE FEET, INCLUDING A LIVE-IN, WORK ONSITE COMPONENT THAT ALLOWS SIX (6) TENANTS TO LIVE ONSITE ON THE SECOND FLOOR OF THEIR ASSIGNED UNIT. THE PROJECT INCLUDES A MAJOR VARIANCE FOR A 90 PERCENT REDUCTION OF SIDE YARD SETBACK, PROVIDING A 1-FOOT SETBACK IN LIEU OF THE REQUIRED 10

RECOMMENDATION:

That the Planning Commission conduct a public hearing and if appropriate:

- A) Approve the Conditional Use Permit and Variance Request (Case No. 23-088/089), subject to the Conditions of Approval as contained in this Agenda Report,
- B) Review, and if it is considered acceptable, approve the architectural design and conceptual landscaping for the proposed Project;
- C) Adopt the Findings for the Conditional Use Permit as contained in the Agenda Report;
- D) Adopt the Major Variance Findings as contained in the Agenda Report;
- E) Adopt the Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program, finding the mitigation measures and standard measures and procedures will reduce the potential level of environmental impact to less than significant; and
- F) Direct staff to file a Notice of Exemption.

DISCUSSION:

Associate Planner Christian Farmer presented the Agenda Report.

Commissioner Hicks stated that he appreciates the traffic study report.

Commissioner McCuiston noted that he is impressed with the proposed project and all of the information made available.

The applicant's representative, Glen Schmidt, was in attendance. Mr. Schmidt stated that the live work concept is based from years ago when people lived above their stores or shops and they wanted to see how the demand would be today. Commissioner O'Brine stated that he was intrigued by the design.

Commissioner Mullins asked for clarification regarding the ingress and egress to the property. Mr. Schmidt informed the Commission that the gate will remain open during business hours and will have an on-site manager. Mr. Schmidt stated that the goal is to keep the facility safe and clean.

PUBLIC COMMENT: No comments received.

The Public Hearing was then closed.

ACTION: MOTION BY Commissioner McCuiston, SECOND BY Commissioner Hicks, CARRIED, 6-1, (Chair Chester Absent) TO APPROVE AGENDA ITEM NO. 2.

3. **SUBJECT: SG OPAL** (PLN-PHE-25-0005): A LAND USE COMPLIANCE REVIEW AND MAJOR VARIANCE OF A FIFTY (50) FOOT PYLON SIGN THAT PROVIDES SIGNAGE FOR THE FUTURE TENANTS ON SITE, INCLUDING DIGITAL FUEL PRICING, WITH THE PROPOSED VARIANCE TO ALLOW FOR AN INCREASE IN STRUCTURE HEIGHT, AND A SEPARATE TEN (10) FOOT MONUMENT SIGN LIMITED TO A FIVE-TIER FUEL PRICING STRUCTURE.

RECOMMENDATION:

That the Planning Commission conduct a public hearing and if appropriate:

- A) Approve Major Variance and Land Use Compliance Review No. PLN-PHE-25-005, subject to the Conditions of Approval as contained in this Agenda Report;
- B) Adopt the Major Variance Findings as contained in the Agenda Report;
- C) Find that the Project is exempt from CEQA pursuant to Section 15305 & 15311 of the State CEQA Guidelines; and
- D) Direct staff to file a Notice of Exemption.

DISCUSSION: Vice Chair Miller recused himself from this item due to a potential conflict of interest.

Associate Planner Christian Farmer presented the Agenda Report.

Commissioner Hicks stated that he had a conversation with Alex Patel regarding the overall development a month prior regarding the project being presented at Planning Commission, but there was no specific information on the sign.

Commissioner O’Brine noted sign size and illumination concerns. Deputy Director of Community Development / City Planner Benjamin Matlock stated that there is a foot light candle output limit pursuant to the Development Code; If they exceed the limits, the sign would have to be adjusted, dimmed or modified to bring it down to a muted design.

Commissioner Mullins asked for clarification on the sign color scheme. Deputy Director of Community Development / City Planner Benjamin Matlock stated that the colors would be what was presented on the presentation slide, reflecting the tenants colors.

The applicant, Alex Patel, was in attendance. Mr. Patel informed the Commission that those homes will not see the lights at night since they are channel letters, and you won’t see the illuminated back drops. Mr. Patel stated that he is in conversation with the Hilton and Marriott Hotels and is going through the process but does not have a concrete answer on the hotel tenant.

PUBLIC COMMENT:

The following members of the public spoke:

- Brett Granlund

The Public Hearing was then closed.

Commissioner O’Brine noted that the material that was provided was straightforward, and the sign is a g

ACTION: MOTION BY Commissioner McCuistion, SECOND BY Commissioner Mihld, CARRIED, 5-1-1, (Vice Chair Miller Abstained, Chair Chester Absent) TO APPROVE AGENDA ITEM NO. 3.

STUDY SESSION:

4. SUBJECT: California Environmental Quality Act (CEQA)

DISCUSSION:

Deputy Director of Community Development / City Planner Benjamin Matlock presented the Study Session Presentation.

ANNOUNCEMENTS: Deputy Director /City Planner Benjamin Matlock informed the Commissioners that the next meeting will be held May 21, 2025.

ADJOURNMENT:

The meeting adjourned at 8:16 PM.

Benjamin Matlock
Deputy Director/City Planner

Stacey Chester
Chair of the Planning Commission



AGENDA REPORT

DATE: Planning Commission Meeting of May 21, 2025

TO: Honorable Chairperson and Planning Commissioners

FROM: Katie Syme, Development Services Technician *KS*

SUBJECT: **Jose Guerrero** (Case No. PLN-PHE-24-0002): A Special Use Permit for the Architectural Review of an existing, unpermitted, 21.5-foot tall and 2,500 square foot steel accessory structure associated with the existing residence and proposed second, 24.3-foot tall and 4,555 square foot residence (Case No. PLN-ADM-25-0003) on a single-family residential (RS-72C) property located at 10922 Bryant Street; APN: 0303-051-67.

RECOMMENDATION:

That the Planning Commission conduct a public hearing, and:

- A) Review the architectural design of the existing, unpermitted metal structure, and if it is acceptable, approve the design subject to the Conditions of Approval; and
- B) Adopt the Special Use Permit Findings as contained in the Agenda Report; and
- C) Adopt a Categorical Exemption pursuant to the California Environmental Quality Act of 1970 and the CEQA Guidelines, as amended, Section 15303 (Class 3); and
- D) Direct staff to file a Notice of Exemption.

BACKGROUND:

Area Land Use Designations; Improvement Levels; and Existing Land Uses:

Site:	RS-20M (Single Residential- 20,000 square foot minimum)	IL-1	Single-family residence
North:	Mobilehome Park Overlay District 2; RS-72C (Single Residential- 7,200 square foot minimum)	IL-1	El Dorado Palms Mobilehome Park
South:	RS-72C	IL-1	Single-family residence
East:	RS-20M	IL-2	Single-family residence
West:	RS-20M	IL-1	Single-family residence

DISCUSSION:

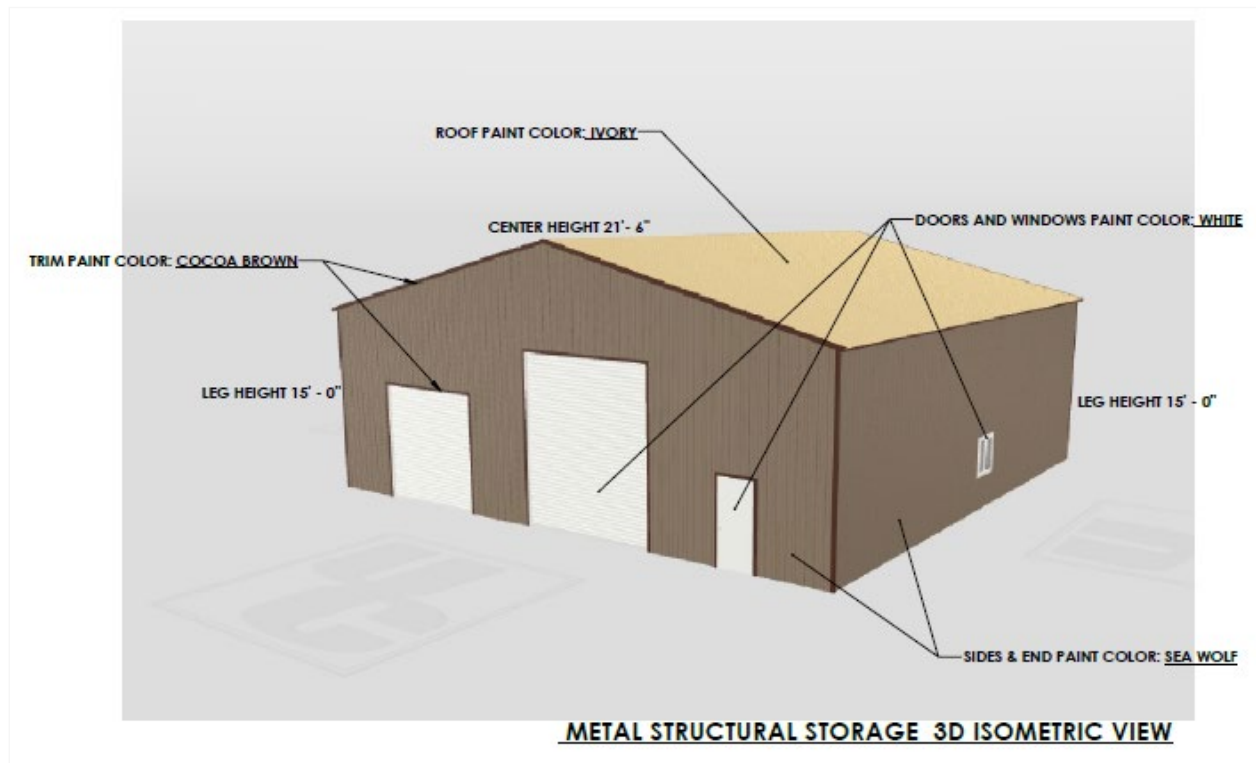
Special Use Permit for Architectural Review:

The applicant has submitted a Special Use Permit Application for the Architectural Review of an existing, unpermitted 21.5-foot-tall and 2,500 square foot steel accessory structure on a single residential property. Pursuant to Development Code Section 84.0645(a), any detached structure larger than 1,200 square feet, more than 20 feet in height, or of an unconventional design, such as a metal garage, would first be required to obtain a Special Use Permit for approval of the architectural design from the Planning Commission.

The metal structure is partially constructed on a 1.58-acre parcel located at 10922 Bryant Street in the RS-72C (Single-Residential, 7,200 square foot minimum lot size) Land Use District with single-family residential land uses generally surrounding the site. The structure is intended to provide extra storage space and cover for the applicant's recreational vehicle (or RV). The property is currently improved with a one-story, 16.4-foot-tall residence that provides 1,944 square feet of living space and 688 square feet of non-habitable space (i.e. architectural features, garage, etc.) on-site. A concurrent Land Use Compliance Review submittal has also been submitted for a second 24.3-foot tall and 4,555 square foot two-story residence. To meet the required Findings of Approval for this Special Use Permit, the new home shall be finalised prior to issuance of a certificate of occupancy for the metal structure, and therefore has been included as a Condition of Approval.

Construction was paused on this metal structure until the necessary permitting was obtained. It should be noted that the San Bernardino County Assessor's Parcel Map indicated that the City's Right-Of-Way and applicant's property line were within the structure's footprint. However, the applicant's land surveyor determined that the legal description correctly identified the property boundaries as twenty-two (22) feet north of the structure. Planning staff is working to reconcile differences between the County's assessor/legal parcel information and the City's visual geographic (i.e. GIS) map in the future, and additional work will be done to finalize these corrections.

The steel accessory structure will feature a gable roof and will be enclosed on all four (4) sides. The structure has fifteen (15) feet of vertical clearance, but pitches toward the center with a peak height of about twenty-one (21) feet and six (6) inches. The exterior elevations include 'Sea Wolf' painted horizontal-ribbed steel panels, and the extended gable roof consists of 'Ivory' with 'Cocoa Brown' trim painted steel panels. The applicant has also installed vegetation and fencing to provide screening. Similar to other SUP/ARC projects, the proposed architectural elements will best ensure compatibility with the home and other neighboring residential land uses, especially as the structure would be visible from Fir Avenue and includes a window along the street-facing side.



The structure is proposed to be constructed along the northern portion of the property, approximately 30 feet from the primary residence, 106 feet from the front/east property line, 120 feet from the rear/west property line, 22 feet from the street side/north property line, and 190 feet from the interior side/south property line. Ingress and egress will be provided by a new driveway at the front of the property along Bryant Street. Pursuant to the Development Code, the structure shall meet all development standards associated with the Single-Residential Land Use District following the construction of the new, larger single-family residence. Furthermore, the proposed location of the structure meets all setback requirements for structures in this district according to the attached plans, elevations, and site photos.

Processing and Procedural Actions:

Notices of the Project were sent to all surrounding contiguous property owners, and no comments were received.

Staff is recommending that the Project is Categorically Exempt from the California Environmental Quality Act (CEQA), pursuant to Section 15303 of the CEQA Guidelines (Class 3 – Small Structures), as the Project consists of a steel accessory structure to be used as an accessory structure.

CONCLUSION:

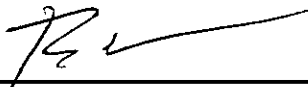
The Project meets the standards for access and site design. The required Findings and Conditions for the approval of the Special Use Permit for Architectural Review, which includes the Condition

of Approval to final the second single-family residence prior to the occupancy of the metal accessory structure, have been provided and are attached.

Attachments:

1. Findings for Special Use Permit
2. Land Use & Location Map
3. Site Photos
4. Conditions of Approval
5. Site Plan and Building Elevations

Approved by:

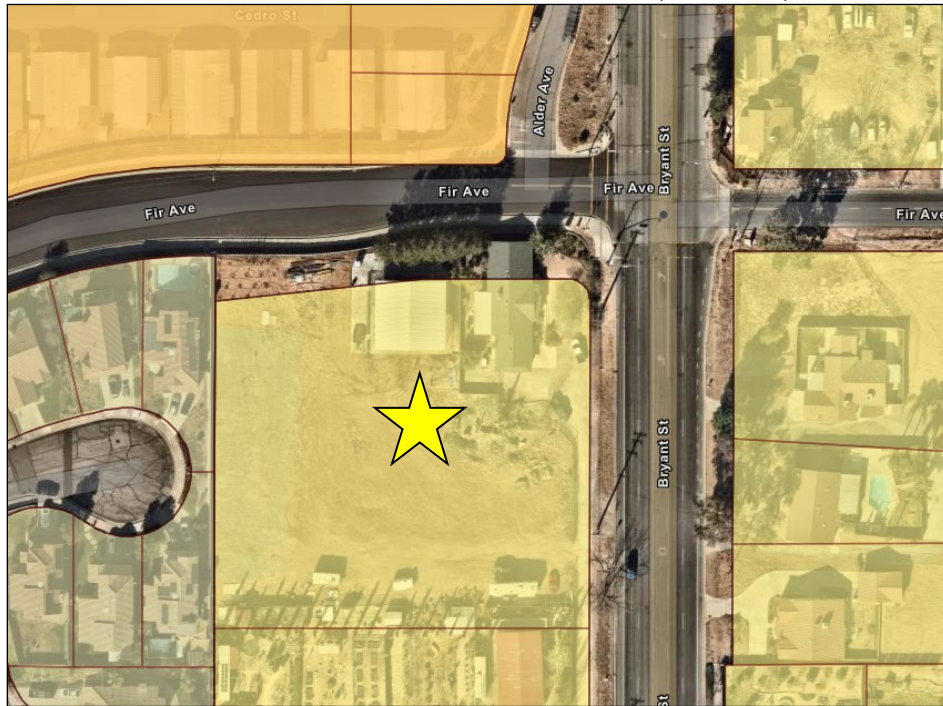


Benjamin Matlock, Deputy Director of Development Services/City Planner
Development Services Department

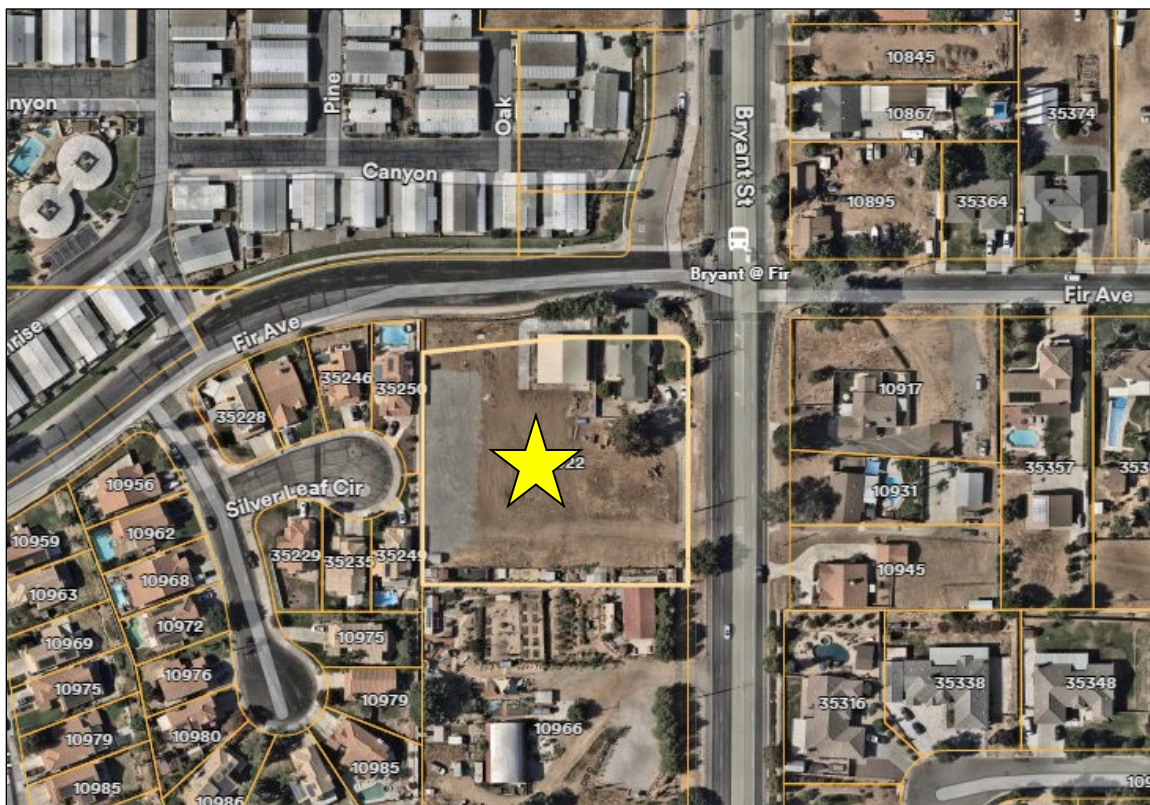
FINDINGS: SPECIAL USE PERMIT NO. PLN-PHE-24-0002

1. The site for the proposed use is adequate in size and shape to accommodate said use and all yards, building coverage, parking area, and other requirements of the Code, because the subject property is 1.58 acres in size and is adequate in area to accommodate the metal accessory structure.
2. The existing metal accessory structure is subordinate in size to the proposed 24.3-foot tall and 4,555 square foot second residence (Case No. PLN-ADM-25-0003). Its location and appearance are minimized as it is over 22 feet away from the street, and vegetation and fencing was installed to provide screening. Additionally, the color of the structure will complement the primary residence to provide greater compatibility for the site and the other surrounding residential land uses.
3. Issuance of the permit shall not be detrimental to the public health, safety, or welfare, or injurious to the property or improvements in the vicinity and district in which the use is located, because the lawful conditions and building code requirements required for this structure to be built will ensure adequate circulation, drainage, and fire protection.
4. The appearance of the detached accessory structure and the method of construction are compatible with the surrounding built environment, because the building is compatible in size and height with surrounding houses and accessory structures, and will be required to obtain a building permit, ensuring that it has been built consistent with conceptual plans to be more compatible with the existing single-family residence on-site.

LAND USE: SINGLE-RESIDENTIAL (RS-72C)



SITE LOCATION:



SITE PHOTOS:





Applicant Name: Jose Guerrero
Case No. PLN-PHE-24-0002
Conditions of Approval; 04-16-2025

SPECIAL USE PERMIT

CONDITION – *Note: The **gold** header which each Condition falls under is the timing metric for establishing when that Condition shall be satisfied.*

**DATE SATISFIED &
STAFF INITIALS**

ON-GOING CONDITIONS/GENERAL REQUIREMENTS:

PLANNING DIVISION (909) 797-2489 EXT. 252

1. This Special Use Permit is for the Architectural Review of an existing, unpermitted, 21.5-foot tall and 2,500 square foot steel accessory structure associated with the existing single-family residence and proposed second single-family residence exceeding 22 feet in height (Reference Case No. PLN-ADM-25-0003) on a residential (RS-72C) property located at 10922 Bryant Street; APN: 0303-051-67. Any alteration or expansion of these facilities, or increase in the developed area of the site from that shown on the approved site plan, may require the submission of a new application or an additional application for Revisions for review and approval.

2. The applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any claim, action or proceeding attacking or seeking to set aside, void or annul the approval of all or part of the matters applied for, or any other claim, action or proceeding relating to or arising out of such approval. This obligation includes the obligation to reimburse the City, its agents, officers and employees for any court costs or attorney fees which the City, its agents, officers, or employees are required by a court to pay as a result of such claim, action or proceeding. The City agrees to notify the applicant of any such claim, action or proceeding promptly after the City becomes aware of it. The City may participate in the defense of the claim, action or proceeding, but such participation will not relieve the applicant of applicant's defense and indemnification obligations, including City expenses.

3. This Special Use Permit shall become null and void if all conditions have not been complied with and the occupancy or use of the land has not taken place within three (3) years of the date of approval. One extension of time, not to exceed three (3) years, may be granted upon written request and submittal of the appropriate fee not less than 30 days prior to the date of expiration. **PLEASE NOTE:** this will be the only notice given for the above specified expiration date. **The applicant is responsible for the initiation of an extension request.**

4. A Categorical Exemption is being issued for this project, pursuant to the California Environmental Quality Act of 1970 and the CEQA Guidelines, as amended. The applicant/owner shall deliver a \$50.00 administrative handling fee to the Planning Division within five (5) days after the effective date of conditional approval. **Payments shall be made with a Check, Money Order or Cashier's Check for \$50.00 made payable to the "Clerk of the**

Board ". The Planning Division shall then file the Notice of Exemption with the Clerk. Proof of fee payment will be required prior to issuance of building permit.	
5. All conditions of this Special Use Permit are continuing conditions. Failure of the applicant and/or operator to comply with any or all of said conditions at any time may result in the revocation of the permit granted to use the property.	
6. Commercial uses within the Single Residential Land Use Districts are strictly prohibited. The detached accessory structure shall not be used for commercial purposes.	
<u>FIRE DEPARTMENT (909) 797-2489 EXT. 246</u>	
7. This project is protected by the Yucaipa Fire Department / CalFire. Prior to any construction occurring on any parcel, the applicant shall contact the Fire Marshall for verification of current fire protection development requirements. All new construction shall comply with the adopted California Fire Code and all applicable statutes, codes, ordinances, standards and policies of the Yucaipa Fire Department/CalFire.	
8. This project is in a Fire Safety Review Area 2. This is a high fire hazard brush area. This project shall comply with the construction and development standards for a FR-2 Area. Contact the City Building & Safety Division for FR-2 Area construction and development standards.	
9. Fire Department access roads and/or public/private streets and residential driveways shall have a minimum vertical clearance of thirteen (13) feet and six (6) inches.	
<i>THE FOLLOWING CONDITIONS SHALL BE MET PRIOR TO ISSUANCE OF A BUILDING PERMIT:</i>	
<u>PLANNING DIVISION (909) 797-2489 EXT. 224</u>	
10. Proof of fee payment of Fish and Game fees and/or County Administrative handling fees pursuant to California State Assembly Bill 3158 shall be submitted.	
11. Provide detailed building elevations including materials, finishes, colors, and signage for all buildings for Planning Division review and approval prior to issuance of building permits. Building elevations shall be consistent with those approved by the Planning Commission.	
<u>BUILDING AND SAFETY DIVISION (909) 797-2489 EXT. 263</u>	
12. This project will require one or more building permits. Permits will require a complete permit application and complete building plans to be submitted for approval prior to commencement of work.	

13. Metal structures require a complete set of stamped engineered plans and structural calculations to be submitted for approval.	
14. The foundation shall be designed and stamped by a licensed California Engineer.	
15. A compaction test result document is required at time of plan submittal. The test shall include all areas within 5 feet of the footing/slab and shall be prepared by a licensed soils engineer.	
16. This project shall comply with the latest requirements as set forth in the latest editions of the California Green Code, California Energy Code, California Accessibility Code, California Building Code, California Electrical Code, California Mechanical Code, California Plumbing Code, City of Yucaipa Municipal Code, San Bernardino County Environmental Health Service codes/regulations, and any other agency's codes/regulations that may govern this project.	
17. Yucaipa Valley Water District prohibits cleanouts and backwater valves installed within the garage.	
18. Separate submittals and permits are required for all structures, accessory structures such as but not limited to, trash enclosures, patios, trellises, gazebos block walls, signage, and storage buildings.	
<u>FIRE DEPARTMENT (909) 797-2489 EXT. 246</u>	
19. A fuel break of one hundred (100) feet (brush and weed clearance) is required prior to construction. The clearance shall be maintained on a year-round basis.	
20. An additional fuel modification zone of 100 feet shall be provided on all side(s) of the proposed structure(s). Fuels in this zone are to be thinned and/or removed or otherwise modified to provide a reasonable level of fire defense protection to the proposed structure(s).	
21. The project shall implement the mitigation measures listed in the Mitigation Monitoring and Reporting Program adopted for the project.	
<i>SUBJECT PROPERTY SHALL NOT BE OCCUPIED AND/OR USED FOR PURPOSES APPLIED FOR UNTIL THE FOLLOWING CONDITIONS HAVE BEEN MET:</i>	
<u>FIRE DEPARTMENT (909) 797-2489 EXT. 246</u>	
22. Residential driveways shall be paved (asphalt/concrete) and shall have a minimum width of twelve (12) feet. Driveways of this standard shall serve no more than two single family dwellings and shall not exceed 12% in grade.	
23. Fire Department access roadways and/or public/private streets exceeding one hundred fifty (150) feet in length shall have a Fire Department approved	

turn-around at the terminus (cul-de-sac). Minimum radius shall be not less than 40 feet.	
24. Driveways exceeding 150 feet shall have a Fire Department approved turn-around at the terminus (hammer-head tee).	
25. Fire Department access roadways and/or public/private streets and driveways shall extend to within one hundred fifty (150) feet of and shall give reasonable access to all portions of the exterior walls of the first story of any building. An access road, approved by the Fire Department, shall be provided to within fifty (50) feet of all structures when the natural grade between access road and structure is in excess of 30%. Where an approved access road cannot be provided, a fire protection system shall be required and approved by the Fire Department.	
26. Manual operated gates across Fire Department access roadways, public and/or private streets and driveways, shall be equipped with approved emergency key-operated ("Knox" type) locks. For automatic gates, a "Knox" keyed emergency access switch shall be installed at location determined by Fire Department, and shall over-ride all command functions and open gate automatically upon activation. All automatic gates shall have a manual over-ride for use during loss of electric power. "Knox box" request forms are available from the Fire Department.	
27. Address numbers shall be placed on all new and existing residential structures in such a manner as to be plainly visible and legible from the access roadway or street. Single family dwellings shall have numbers of 4" height, 3/8" stroke on contrasting background. Address numbers shall be low voltage, automatically electrically illuminated. Where structure setback exceeds one hundred (100) feet from the access roadway or street, additional non-illuminated numbers 4" in height, 3/8" stroke, on contrasting background shall be displayed at property access entrance.	
28. Smoke detectors, hard wired with battery back-up, shall be installed in all sleeping areas and in all hallways leading to sleeping areas. Smoke detectors shall be installed at the top of all stairways.	
29. Carbon Monoxide detectors shall be installed pursuant to manufacture specifications.	
30. For each chimney used in conjunction with any fireplace or heating appliance in which solid or liquid fuel is used, an approved spark arrester shall be installed and visible from the ground. Spark arrester shall be of stainless steel, copper or brass, woven galvanized wire mesh, twelve (12) gauge, and minimum of 3/8" to 1/2" maximum openings.	
31. A class "A" roof covering structure with "bird stops" shall be installed.	

32. High Fire Hazard Areas FR-1 & FR-2: one-hour fire resistive construction is required for exterior walls. Contact Fire Marshall or City Building Official for more information.	
33. The main electrical panel and all sub-panels shall be labeled on inside cover for all circuits.	
<u>PLANNING DIVISION (909) 797-2489 EXT. 224</u>	
34. Any lights used to illuminate the site shall be hooded and designed so as to reflect away from adjoining properties and public thoroughfares.	
35. The proposed structure shall be painted to match the colors of the residence per the approved color palette.	
36. The proposed structure shall include fencing and landscaping, as approved by the City Planner, to minimize its location and appearance from the street. Such features shall be maintained for the life of the structure.	
37. A second single-family residence exceeding 22 feet in height (Reference Case No. PLN-ADM-25-0003) shall be finalized prior to the permit final for the metal structure.	

METAL STRUCTURAL STORAGE

10922 BRYANT ST.

YUCAIPA, CA 92399

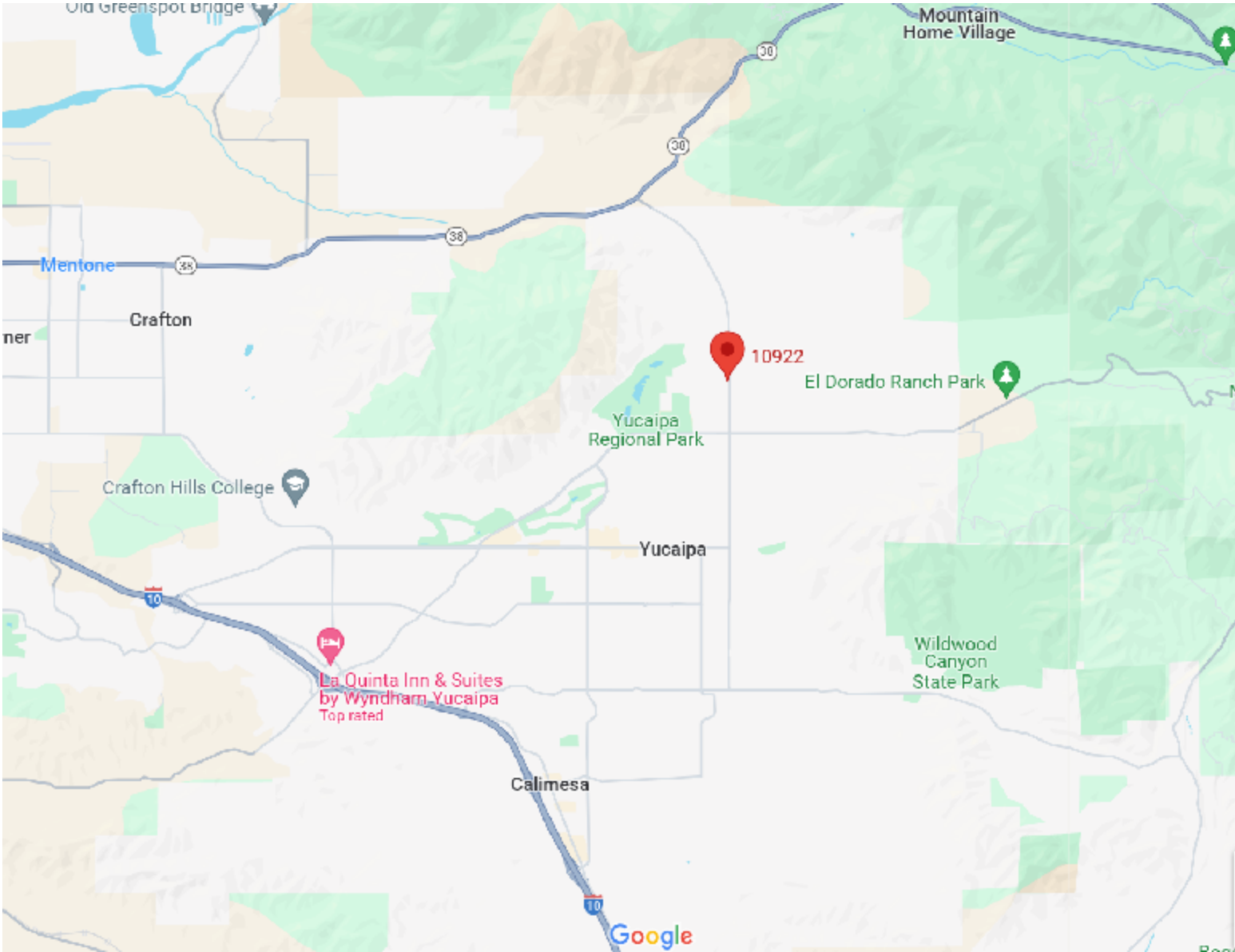
SCOPE OF WORK:

CONSTRUCTION OF EXISTING 50' X 50' METAL STRUCTURAL STORAGE .

SHEET INDEX:

- C0.0 - COVER SHEET.
- L1.0 - METAL STRUCTURAL STORAGE SITE LAYOUT.
- L1.1 - METAL STRUCTURAL STORAGE ADJACENT SITE LAYOUT.
- L1.2 - METAL STRUCTURAL STORAGE SITE 3D ISOMETRIC VIEW.
- S1.0 - METAL STRUCTURAL STORAGE STRUCTURAL DETAIL.
- S2.0 - METAL STRUCTURAL STORAGE STRUCTURAL DETAIL CONTINUED.
- A1.0 - METAL STRUCTURAL STORAGE OUTER WALLS DETAIL.

AREA OF WORK



VICINITY MAP

CLIENT:

10922 BRYANT ST.
YUCAIPA, CA 92399

GENERAL NOTES

1. CONTRACTOR TO VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO START OF CONSTRUCTION AND RESOLVE ANY DISCREPANCY WITH ENGINEERING OR RECORD

2. (E) - INDICATES EXISTING CONSTRUCTION.
3. (N) - INDICATES NEW CONSTRUCTION.
4. (D) - INDICATES DEMO CONSTRUCTION.
5. (R) - INDICATES RELOCATED CONSTRUCTION

REVISION	DESCRIPTION	DATE
E	REMOVED "TENANT IMPROVEMENT" FROM DESCRIPTION.	4/09/25
D	REVISED STRUCTURE DESCRIPTION ON TITLE AND SCOPE OF WORK DESCRIPTION.	3/11/25
C	CORRECTED SPELLING ERRORS	1/29/25
B	ADDED ADDITIONAL PLAN SHEETS	8/24/24

PROPRIETARY AND CONFIDENTIAL

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	NAME	DATE
DRAWN		
CHECKED		
ENG APPR.		
MFG APPR.		

COMMENTS:

Dynamic General Construction Corp.

TITLE:

COVER SHEET

SIZE	SHEET	REV
E	C0.0	D
SHEET 1 OF 5		

IDENTIFICATION:
NAME: JOSE GUERRERO
ADDRESS: 10922 BRYANT ST YUCAIPA CA 92399
TELEPHONE NUMBER: (562)355-5075

UTILITIES:
• WATER COMPANY:
YUCAIPA VALLEY WATER DISTRICT
12770 2ND ST.
YUCAIPA
(909) 7975117

• SEWAGE DISPOSAL:
BURTEC WASTE MANAGEMENT
5455 INDUSTRIAL WAY
SAN BERNARDINO
(909) 797-9125

• ELECTRIC:
SO CAL EDISON
E HIGH ST.
REDLANDS
(800) 455-6555

• GAS:
SO CAL GAS
1981 W. LUGONIA AVE.
REDLANDS
(877) 238-0092

• TELEPHONE: NONE

• CABLE TELEVISION: NONE

LEGAL DESCRIPTION:
•NUMBER OF ACRES: 1.57 ACRES
•APN :0330051670000
•PARCEL TYPE :TYPE 0 / REAL PROPERTY

PROJECT:
METAL GARAGE FOR STORAGE OF VEHICLES.

DIMENSIONS:
- 50' X 50'
- 2500 SQUARE FEET
- 21'- 6" FEET HIGH

ROAD/ EASEMENT:
8' WIDE UTILITY EASEMENT

DRAINAGE:
NO DRAINAGE CHANNELS OR HILLY TERRAIN.

GRADING/ TOPOGRAPHIC:
NO GRADING FLAT LAND
1° SLOPE ON LAND FROM EAST TO WEST.

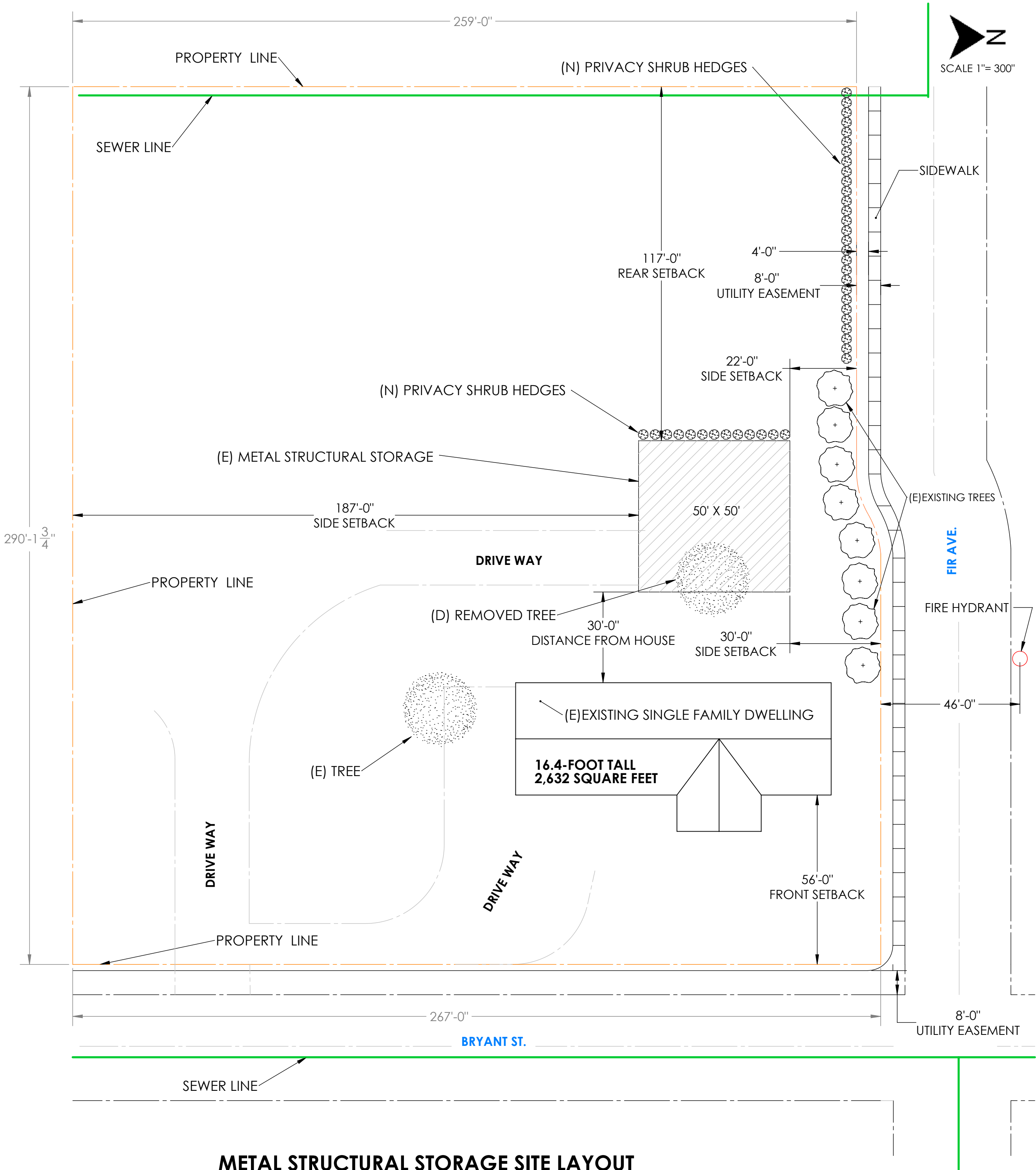
LAND USE DISTRICT OF PROJECT AREA: RS-72C
LAND USE DISTRICT OF ADJACENT AREA: RS-72C

STRUCTURES:
PROPOSED METAL GARAGE.
EXISTING HOME AND GARAGE
- EXISTING HOME HEIGHT 16'-4".
- EXISTING HOME PAINT COLOR TO MATCH
PROPOSED METAL GARAGE.

LOT COVERAGE:
~10% LOT COVERAGE

PLANT AND TREE PROTECTION:
NO PROTECTED TREES ON SITE.

NEAREST FIRE HYDRANT LOCATION:
~46' (SEE LOCATION ON DRAWING TO RIGHT)



CLIENT:

10922 BRYANT ST.
YUCAIPA, CA 92399

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REVISION	DESCRIPTION	DATE
H	ADD SINGLE FAMILY DWELLING HEIGHT & SQUARE FOOTAGE.	5/6/25
G	REVISED STRUCTURE DESCRIPTION. REVISED NOTE ON STRUCTURAL HEIGHT.	3/11/25
F	REVISED DRAWING NOTES CORRECTED SPELLING ERRORS	1/29/25
E	REVISED DRAWING NOTES	1/2/25
D	REVISED DRAWING NOTES	8/28/24
C	ADDED NOTES AND REVISED SITE DRAWING WITH MISSING INFORMATION	8/24/24
B	ADDED NOTES AND REVISED SITE DRAWING WITH MISSING INFORMATION	8/20/24

PROPRIETARY AND CONFIDENTIAL
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	NAME	DATE
DRAWN		
CHECKED		
ENG APPR.		
MFG APPR.		

COMMENTS:

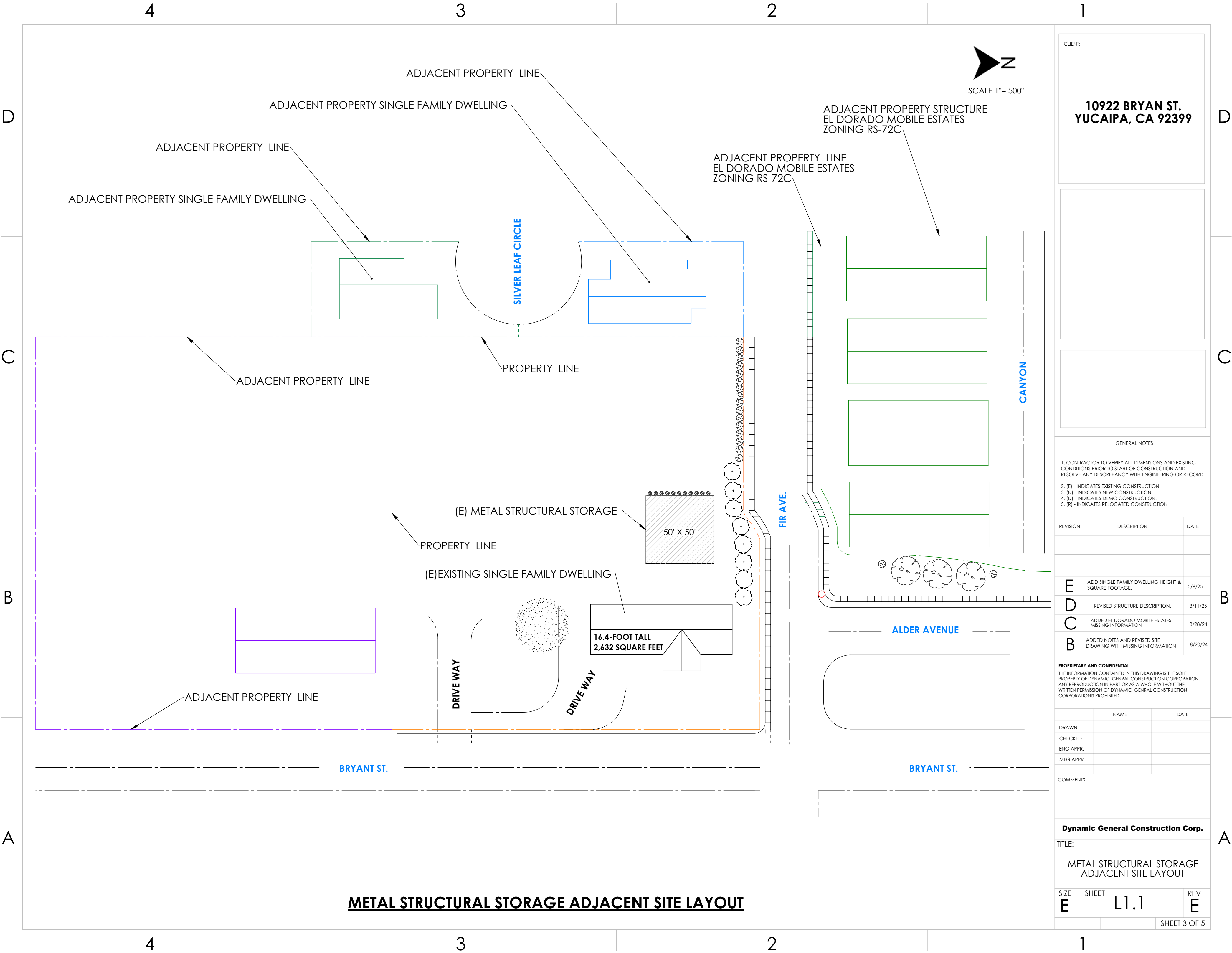
Dynamic General Construction Corp.

TITLE:
METAL STRUCTURAL STORAGE
SITE LAYOUT

SIZE	SHEET	REV
E	L1.0	H

SHEET 2 OF 5

METAL STRUCTURAL STORAGE SITE LAYOUT



CLIENT:

**10922 BRYAN ST.
YUCAIPA, CA 92399**

- GENERAL NOTES
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 - 5. (R) - INDICATES RELOCATED CONSTRUCTION

REVISION	DESCRIPTION	DATE
E	ADD SINGLE FAMILY DWELLING HEIGHT & SQUARE FOOTAGE.	5/6/25
D	REVISED STRUCTURE DESCRIPTION.	3/11/25
C	ADDED EL DORADO MOBILE ESTATES MISSING INFORMATION	8/28/24
B	ADDED NOTES AND REVISED SITE DRAWING WITH MISSING INFORMATION	8/20/24

PROPRIETARY AND CONFIDENTIAL
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	NAME	DATE
DRAWN		
CHECKED		
ENG APPR.		
MFG APPR.		

COMMENTS:

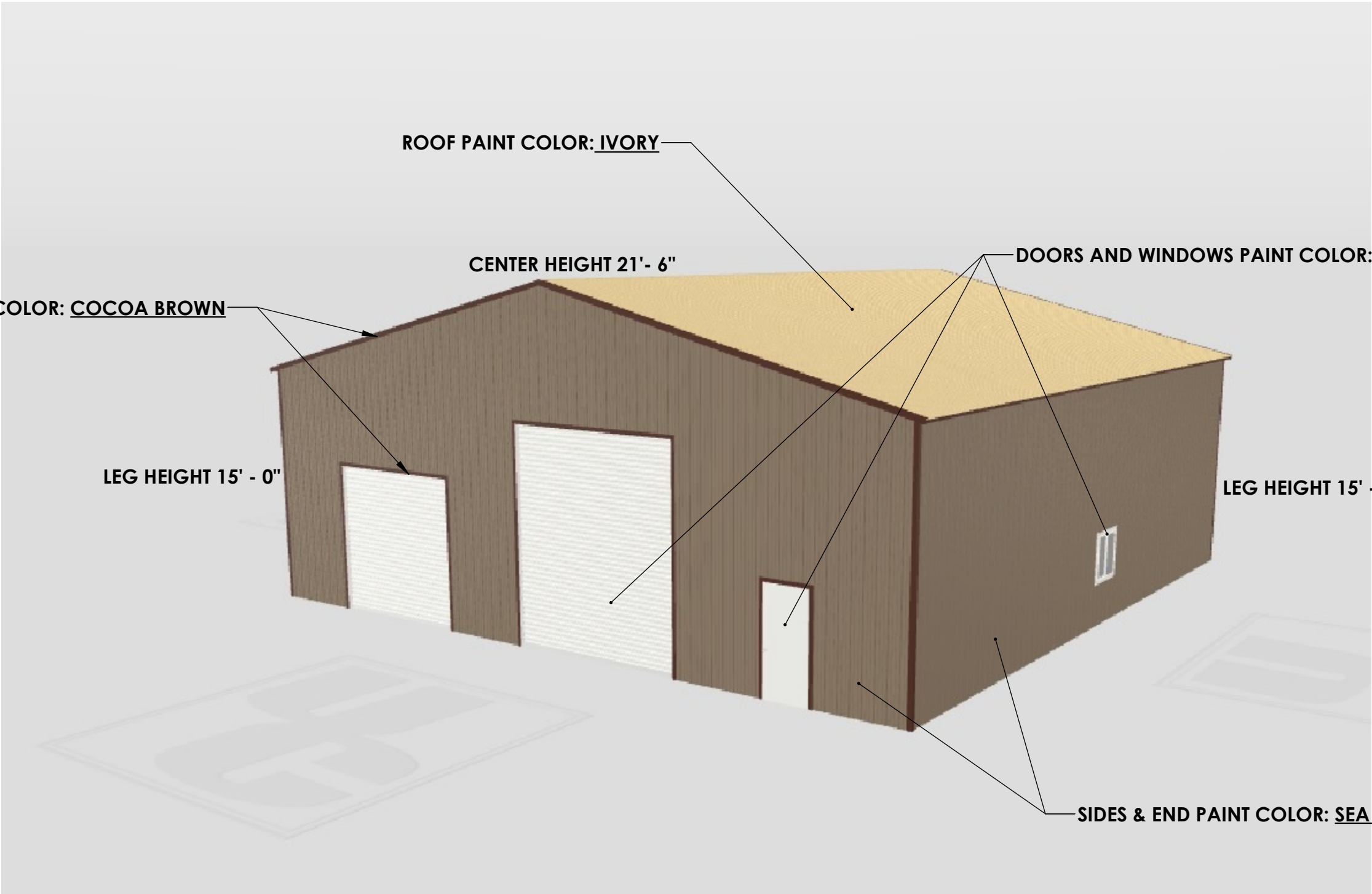
Dynamic General Construction Corp.

TITLE:

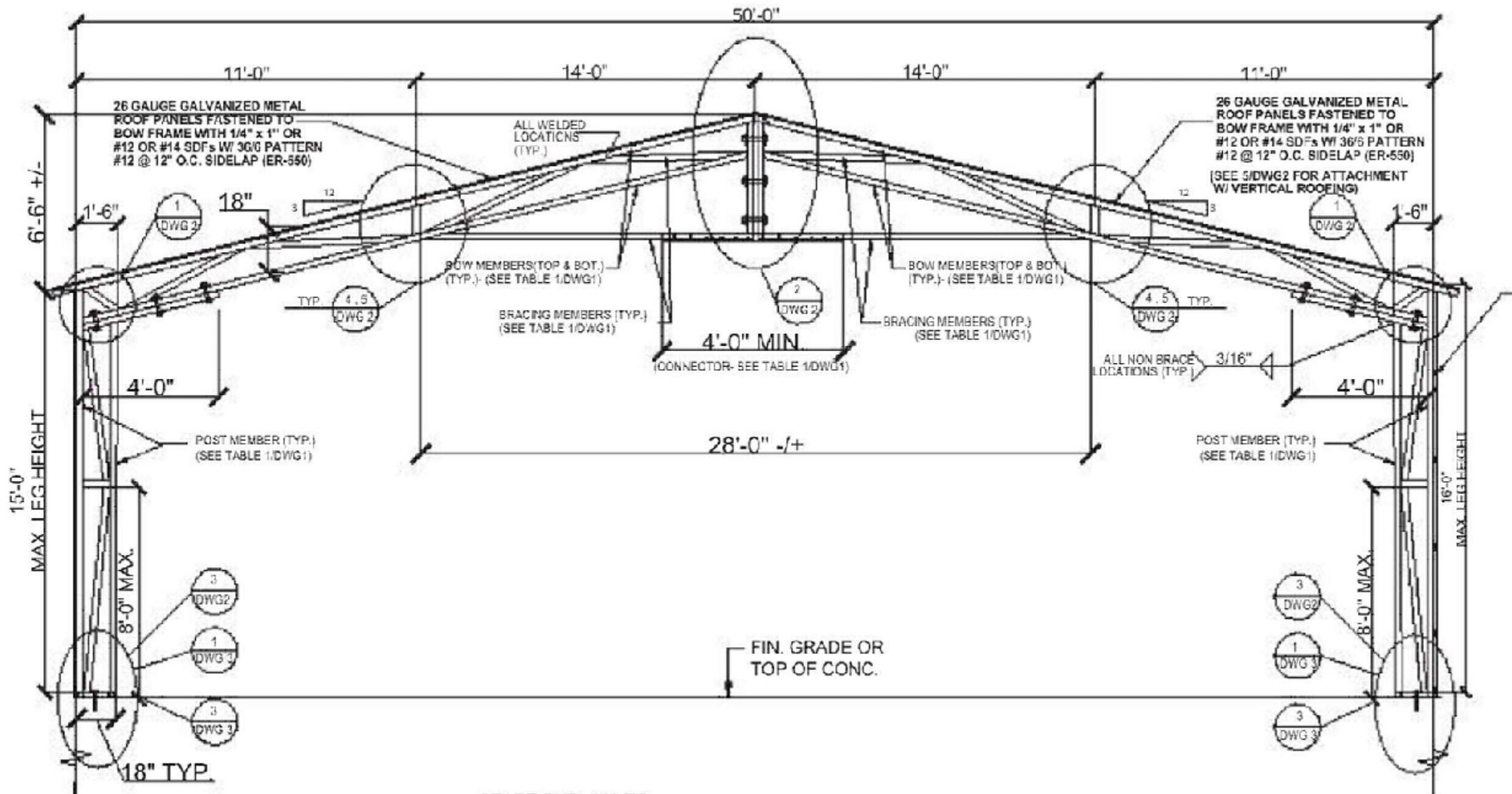
**METAL STRUCTURAL STORAGE
ADJACENT SITE LAYOUT**

SIZE	SHEET	REV
E	L1.1	E

SHEET 3 OF 5



METAL STRUCTURAL STORAGE 3D ISOMETRIC VIEW



METAL STRUCTURAL STORAGE HEIGHT VIEW DETAIL

CLIENT:

10922 BRYAN ST.
YUCAIPA, CA 92399

GENERAL NOTES

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- (D) - INDICATES DEMO CONSTRUCTION.
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REVISION	DESCRIPTION	DATE
E	REVISED STRUCTURE DESCRIPTION, REVISED STRUCTURAL HEIGHT.	3/11/25
D	REVISED HEIGHT STRUCTURE DETAIL.	1/29/25
C	ADDED HEIGHT STRUCTURE DETAIL.	8/28/24
B	ADDED NOTES AND REVISED SITE DRAWING WITH MISSING INFORMATION	8/20/24

PROPRIETARY AND CONFIDENTIAL
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	NAME	DATE
DRAWN		
CHECKED		
ENG APPR.		
MFG APPR.		

COMMENTS:

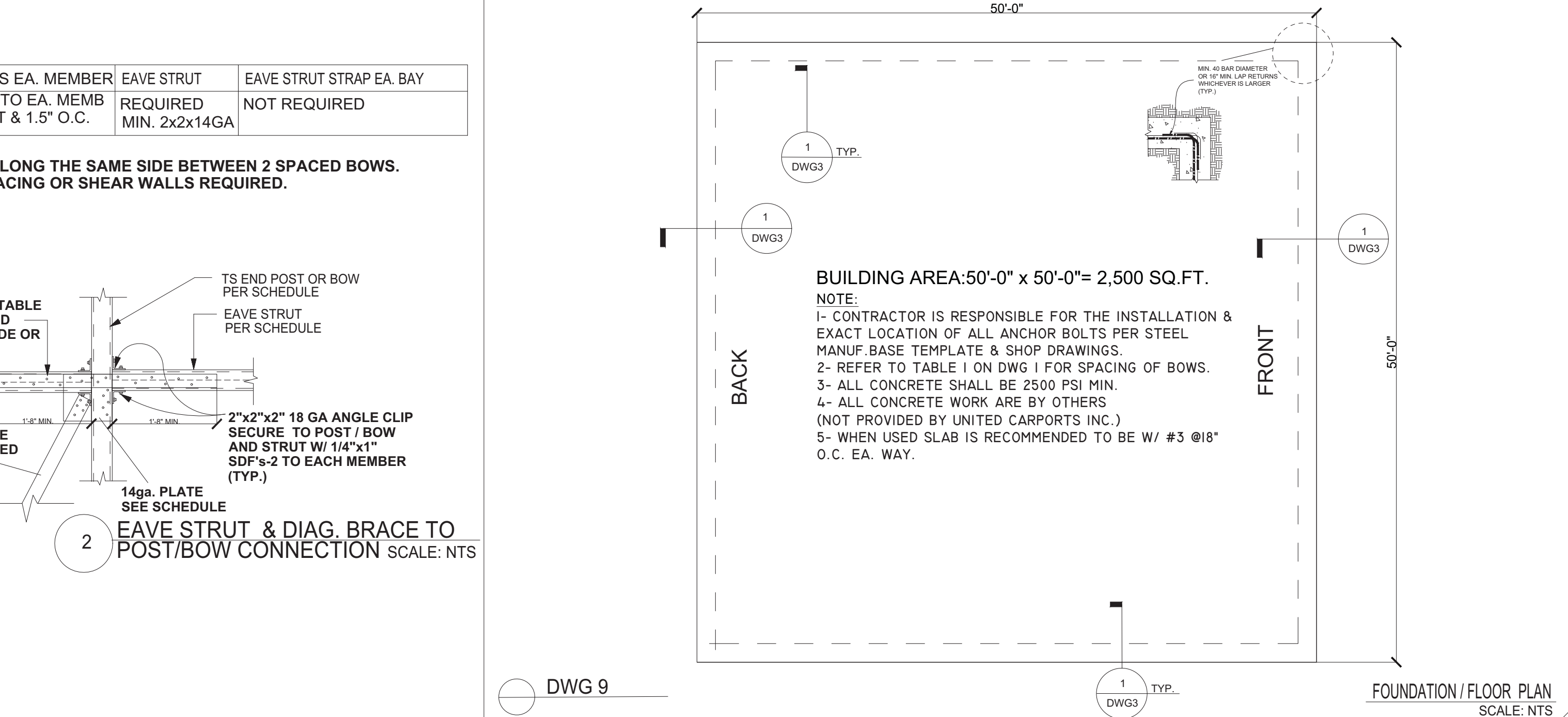
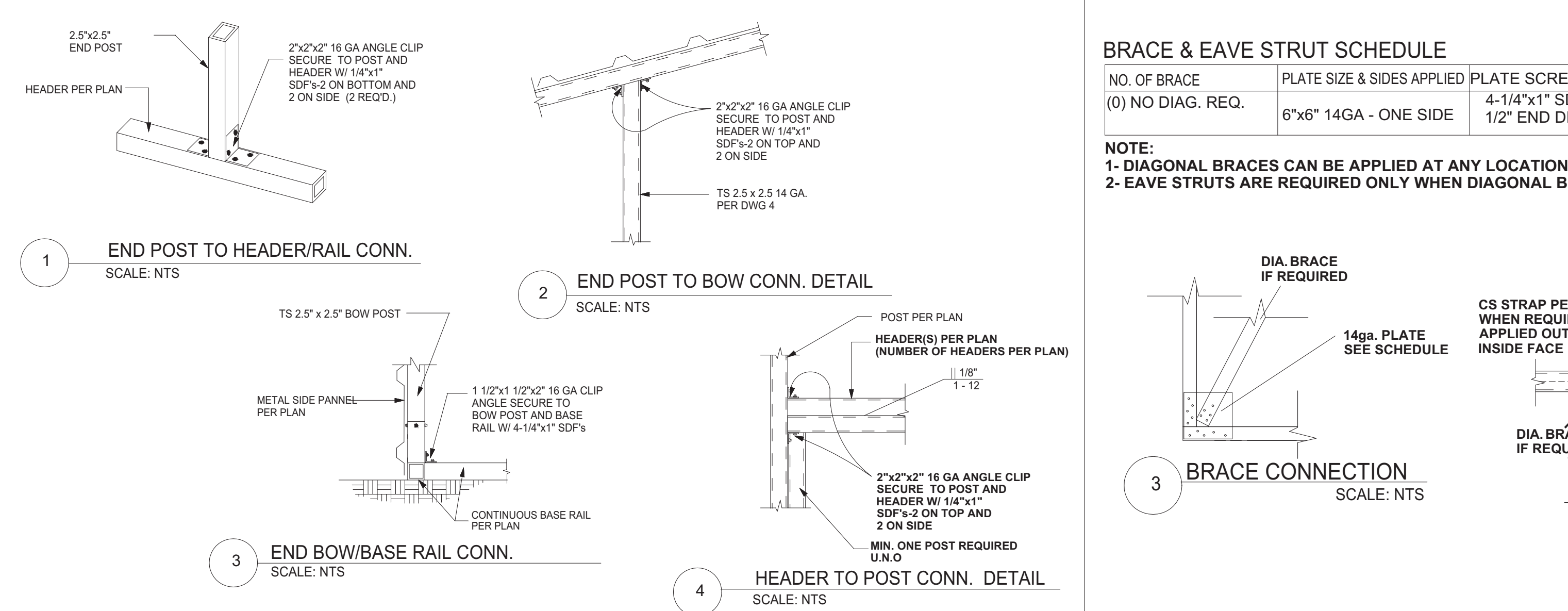
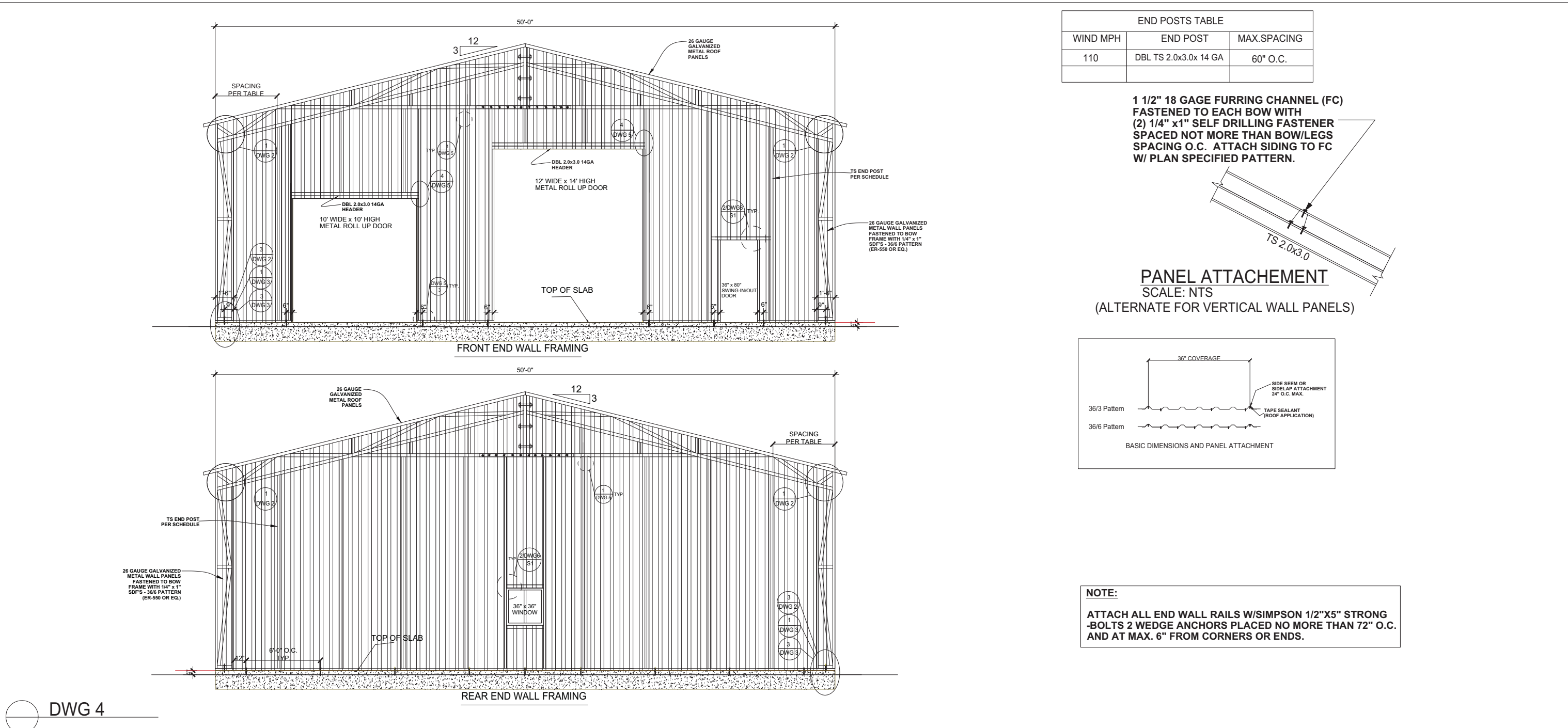
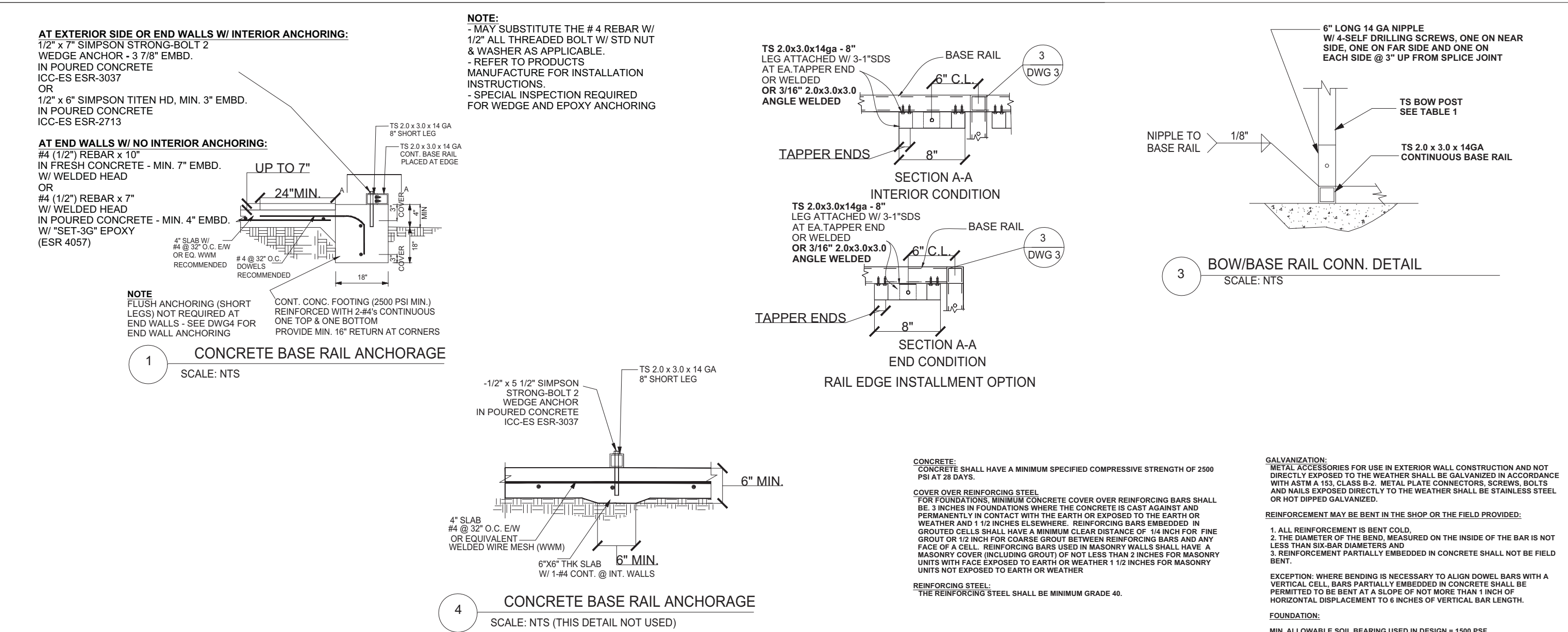
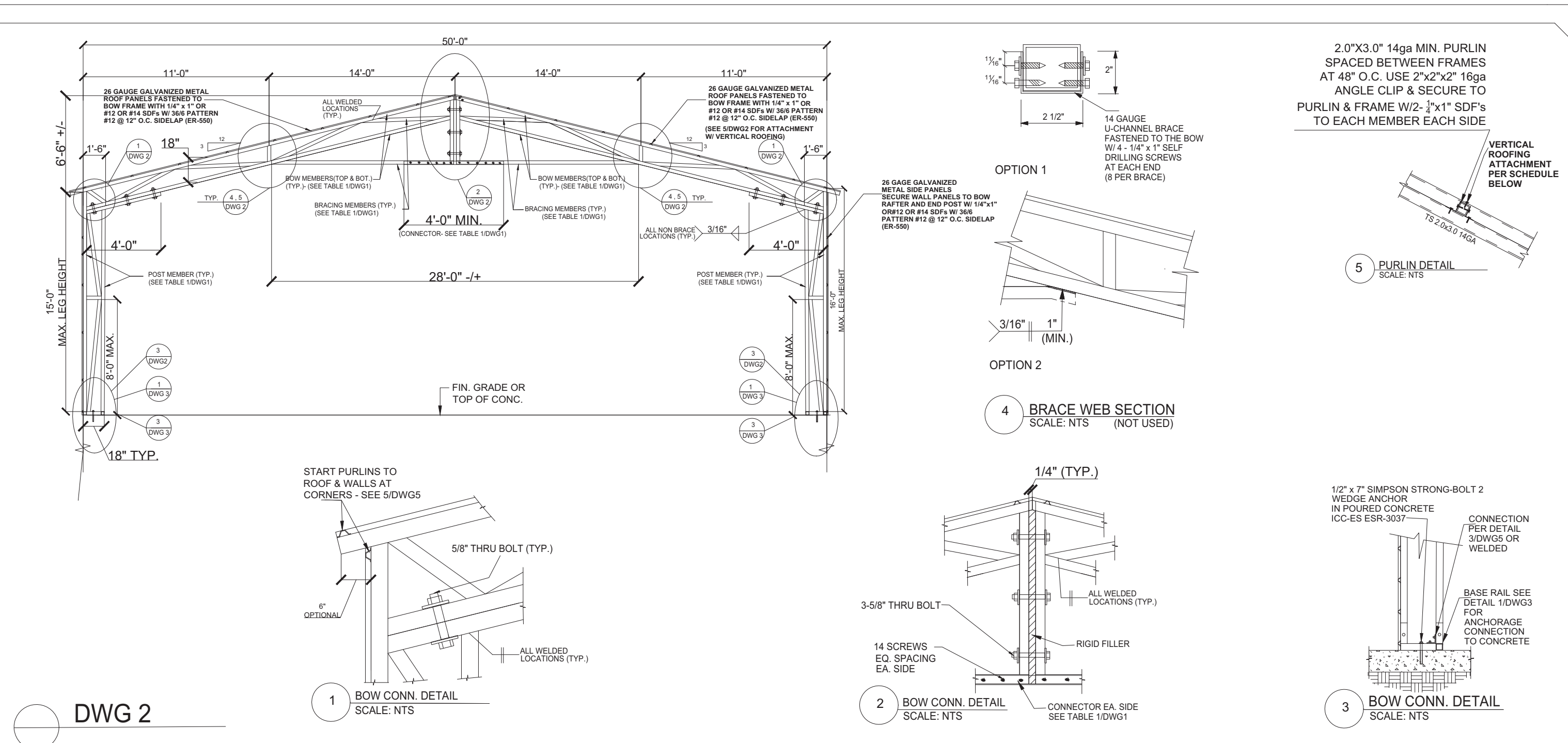
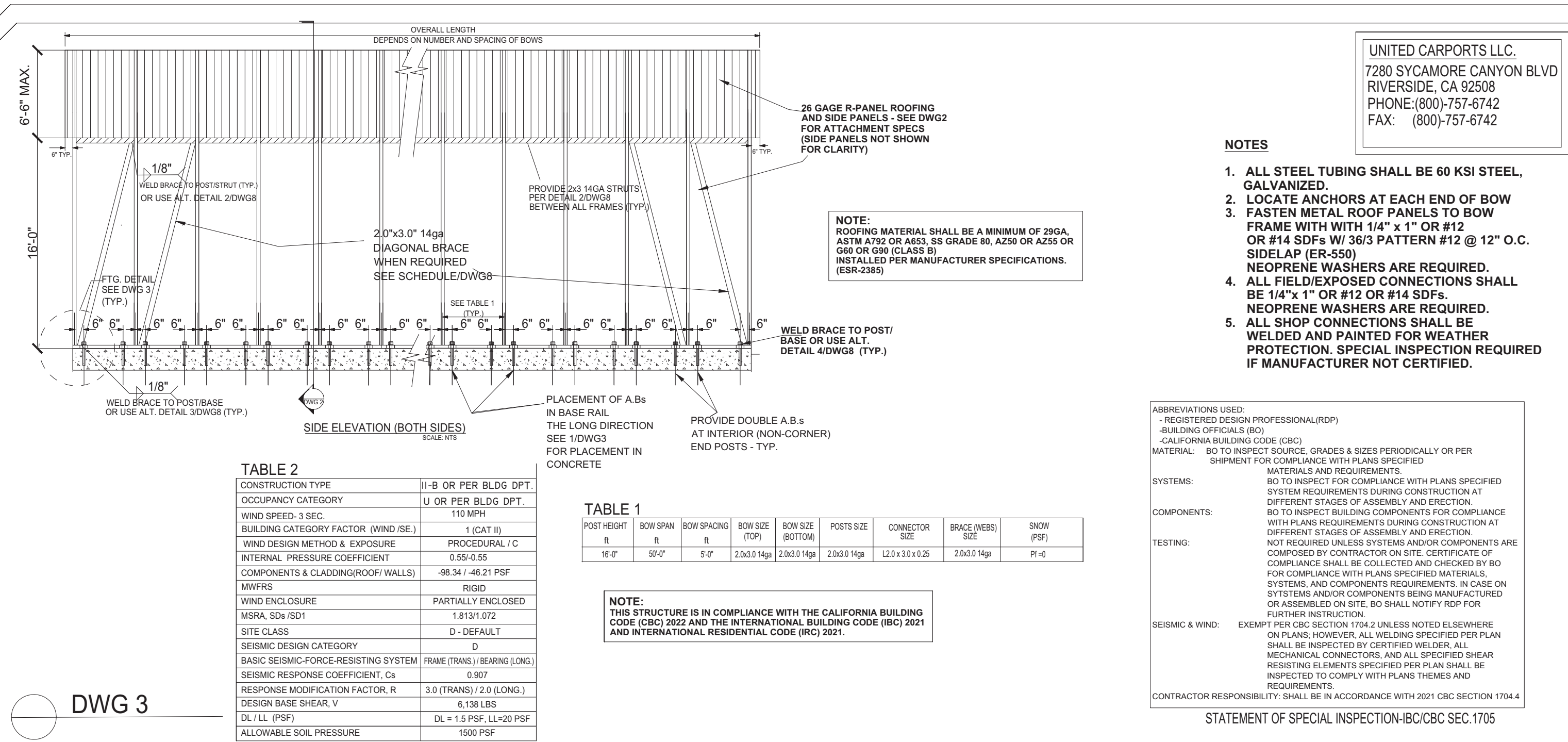
Dynamic General Construction Corp.

TITLE:

METAL STRUCTURAL STORAGE
3D ISO

SIZE	SHEET	REV
E	L1.2	E

SHEET 4 OF 5



DWG 5

DWG 8

DWG 9

ENGINEER	R.S.
DRAWN BY	R.S.
DATE	06-18-24
REVISIONS:	

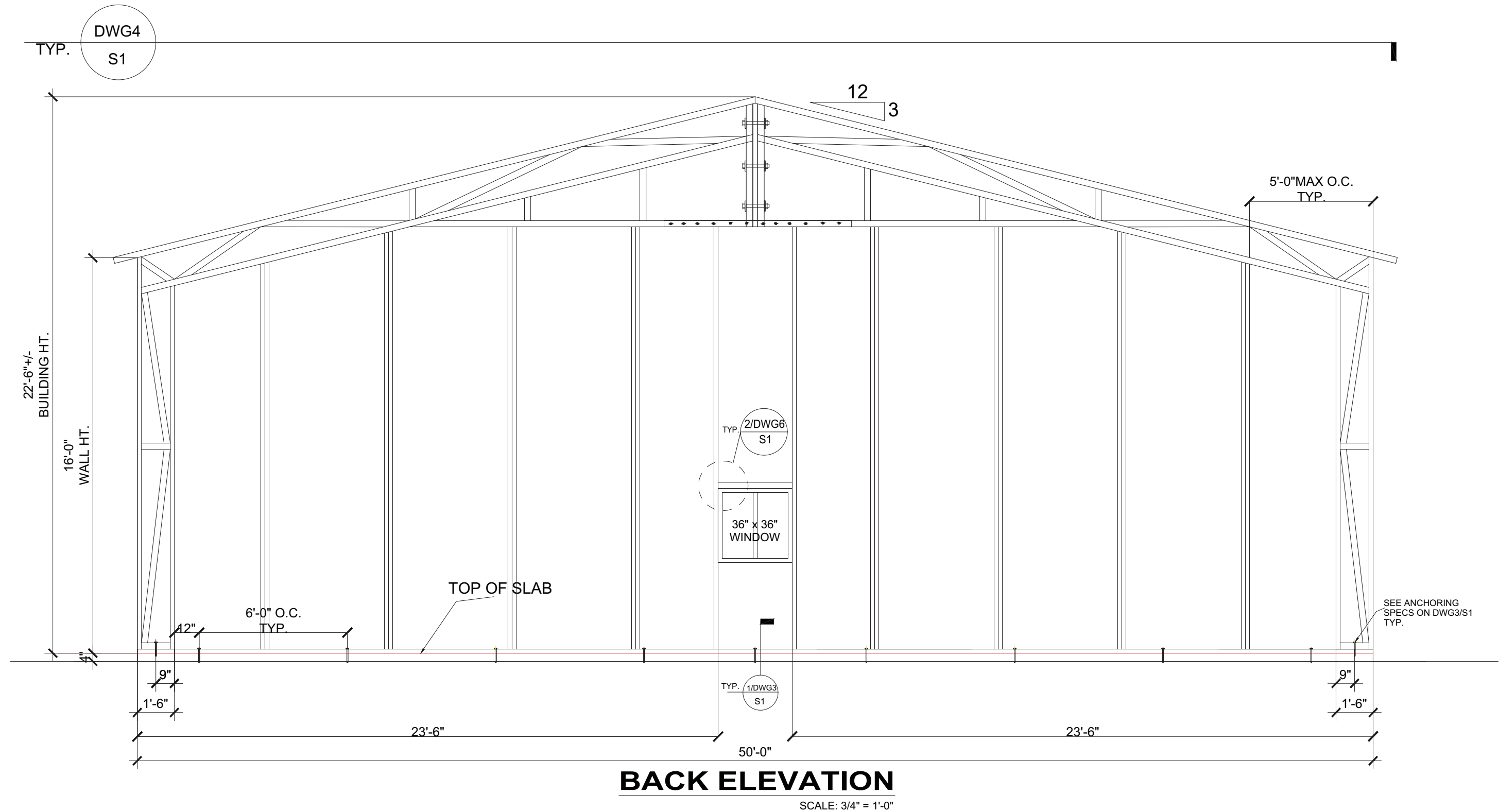
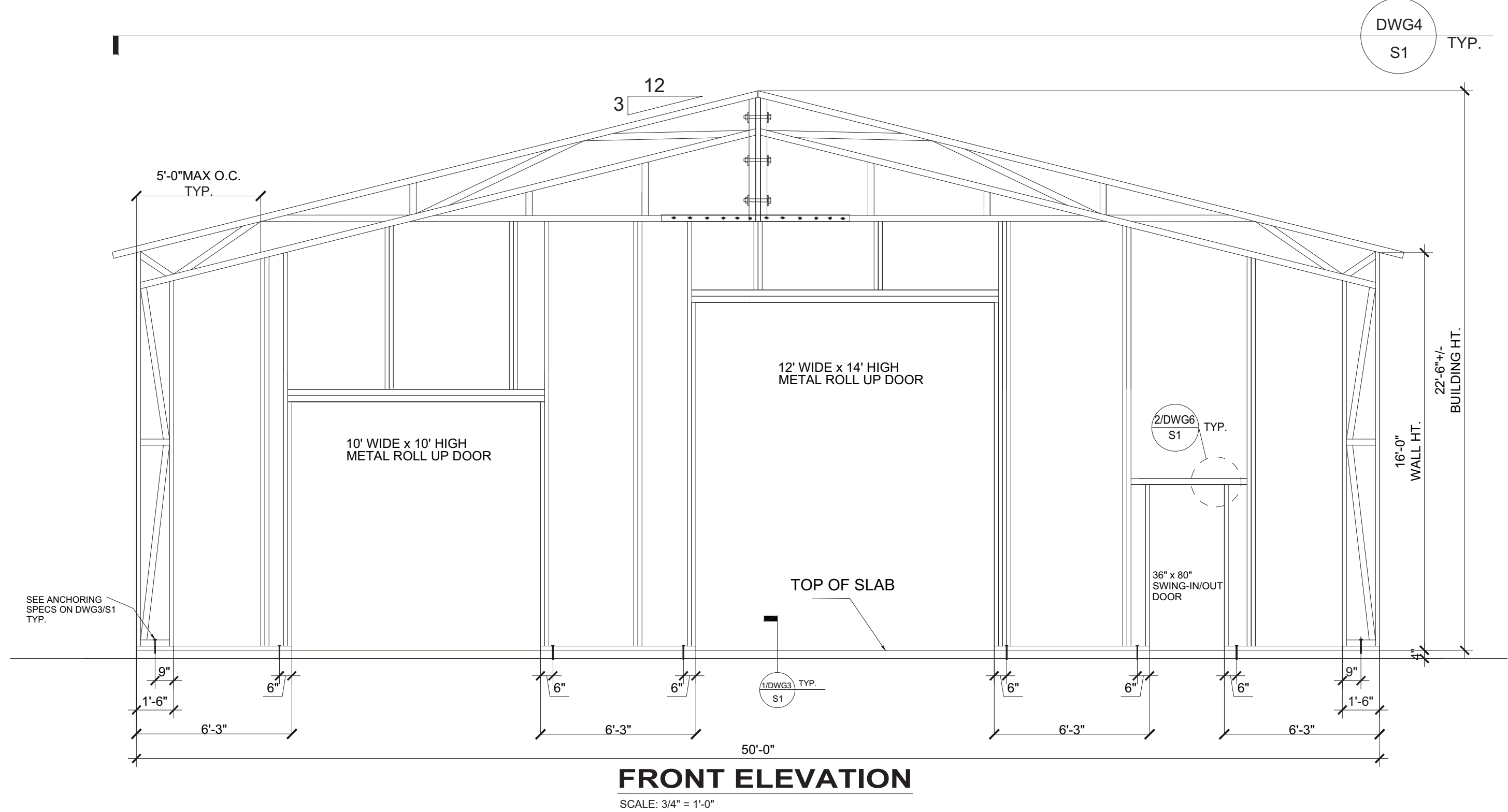
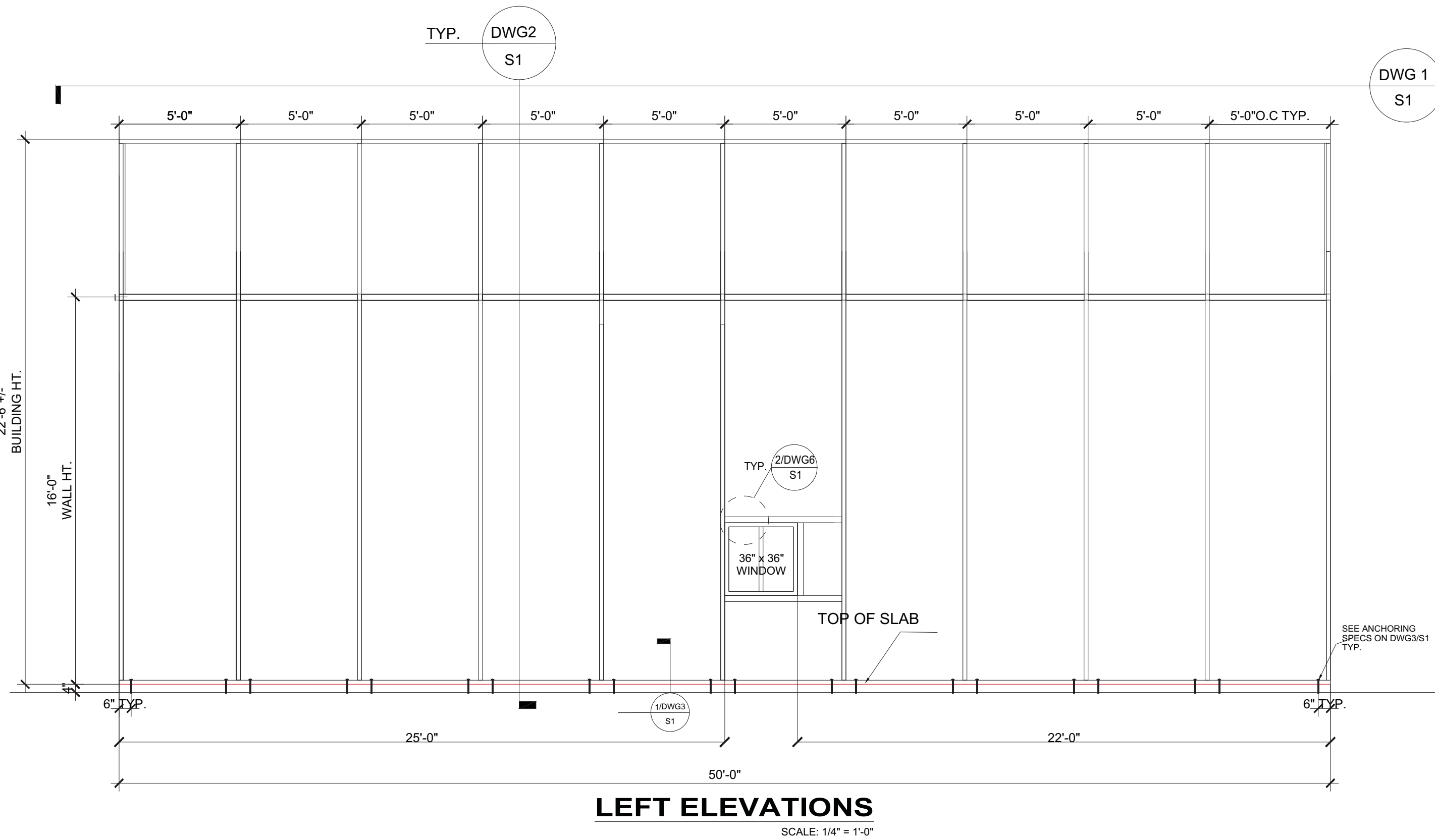
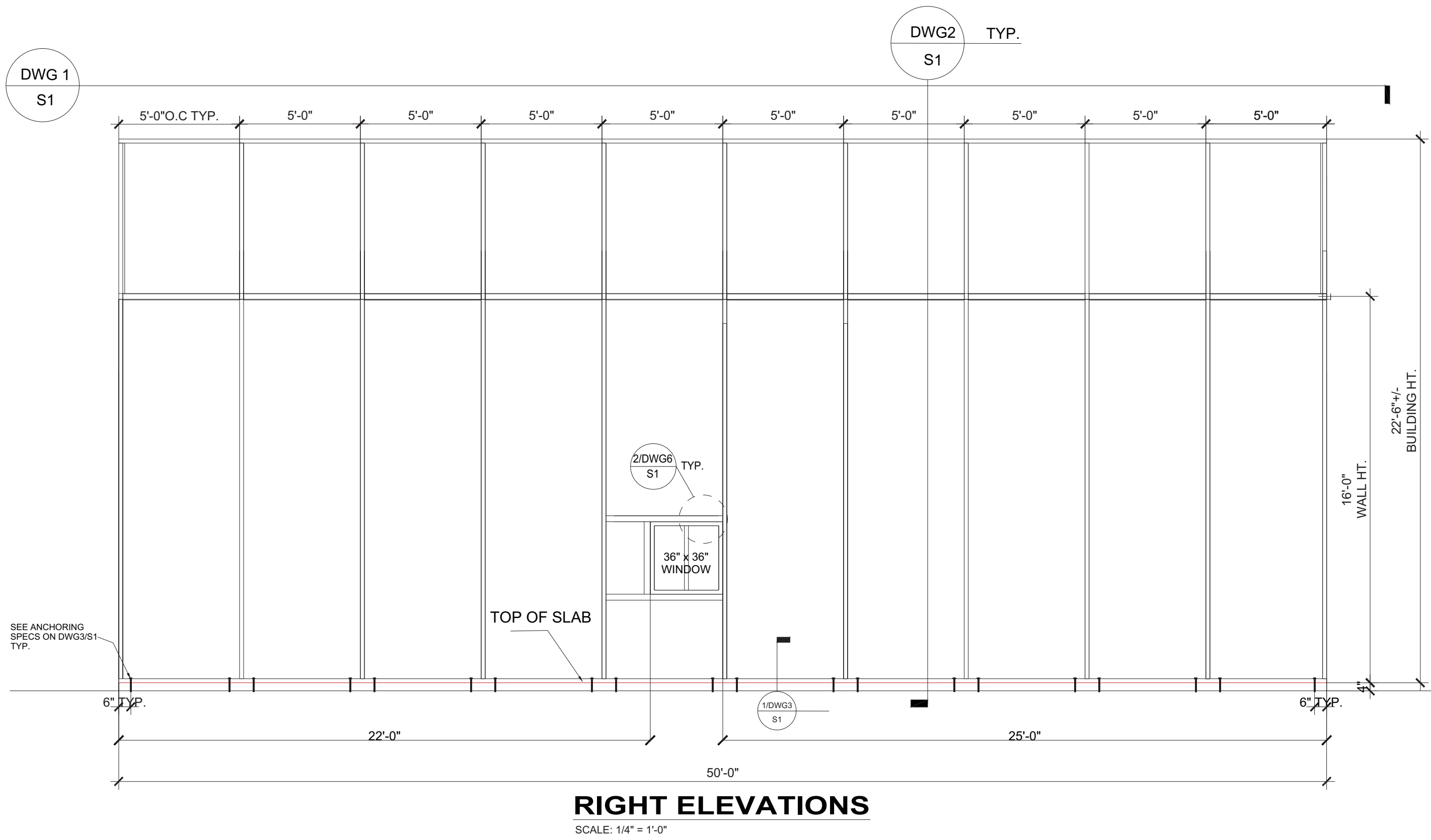
UNITED CARPORTS
JOSE GUERRERO
10922 BRYAN ST.
YUCAIPA, CA 92399



A.S.C. ENGINEERS & ASSOCIATES
STRUCTURAL ENGINEERS • CIVIL DESIGN
CAD DRAFTING SERVICES
7868 N. MAPLE AVE.
CLOVIS, CA 93611
TELEPHONE: (559) 765-0584
FAX: (559) 765-0588

PROJECT NUMBER
5589

SHEET NUMBER
S1



ENGINEER
R.S.
DRAWN BY
R.S.
DATE
06-18-24
REVISIONS:

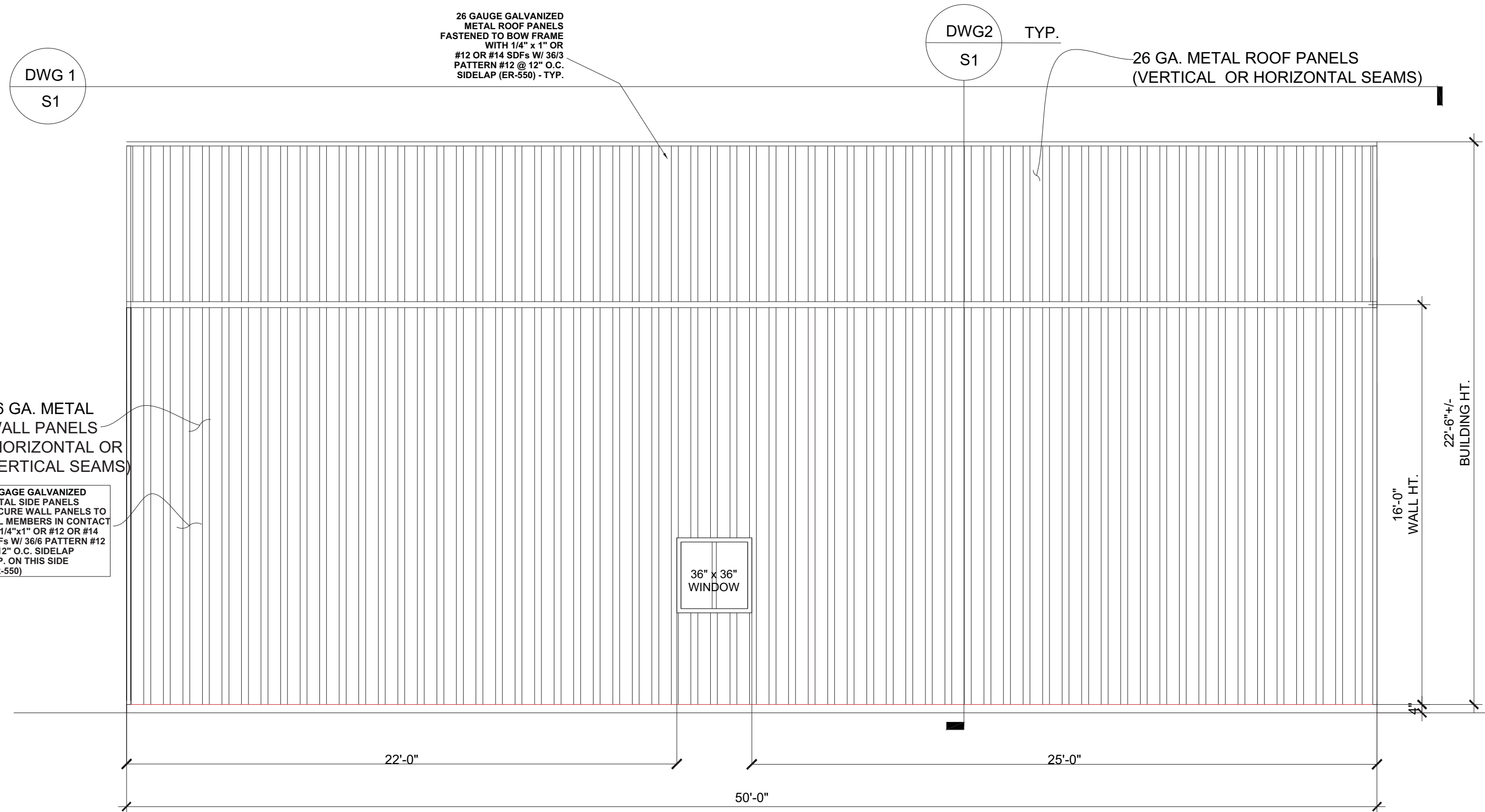
UNITED CARPORTS
JOSE GUERRERO
10922 BRYAN ST.
YUCAIPA, CA 92399



A.S.C. ENGINEERS & ASSOCIATES
STRUCTURAL ENGINEERS • CIVIL DESIGN
CAD DRAFTING SERVICES

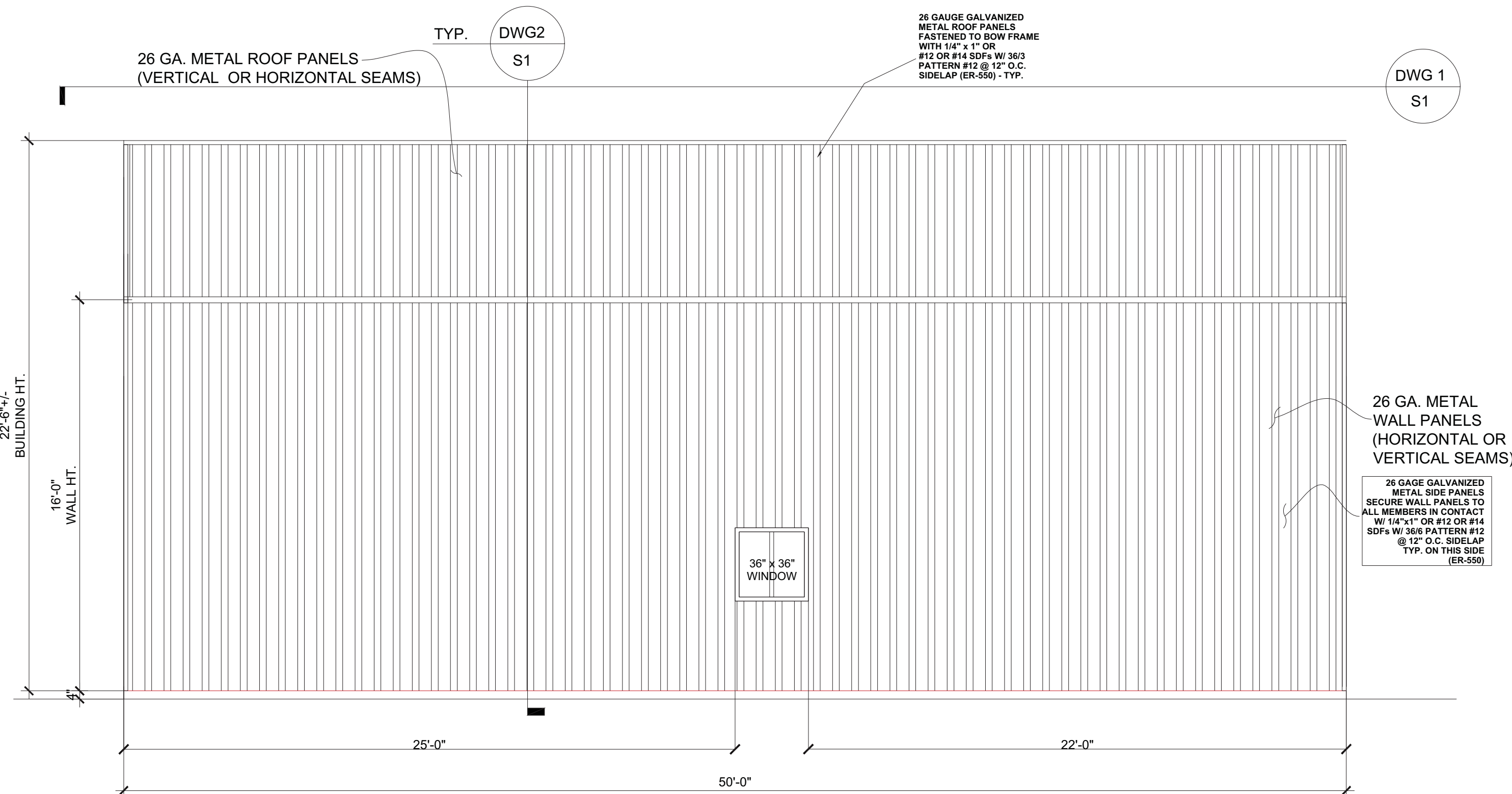
7868 N. MAPLE AVE.
CLOVIS, CA 93611
TELEPHONE: (559) 765-0584
FAX: (559) 765-0588

PROJECT NUMBER
5589
SHEET NUMBER
S2



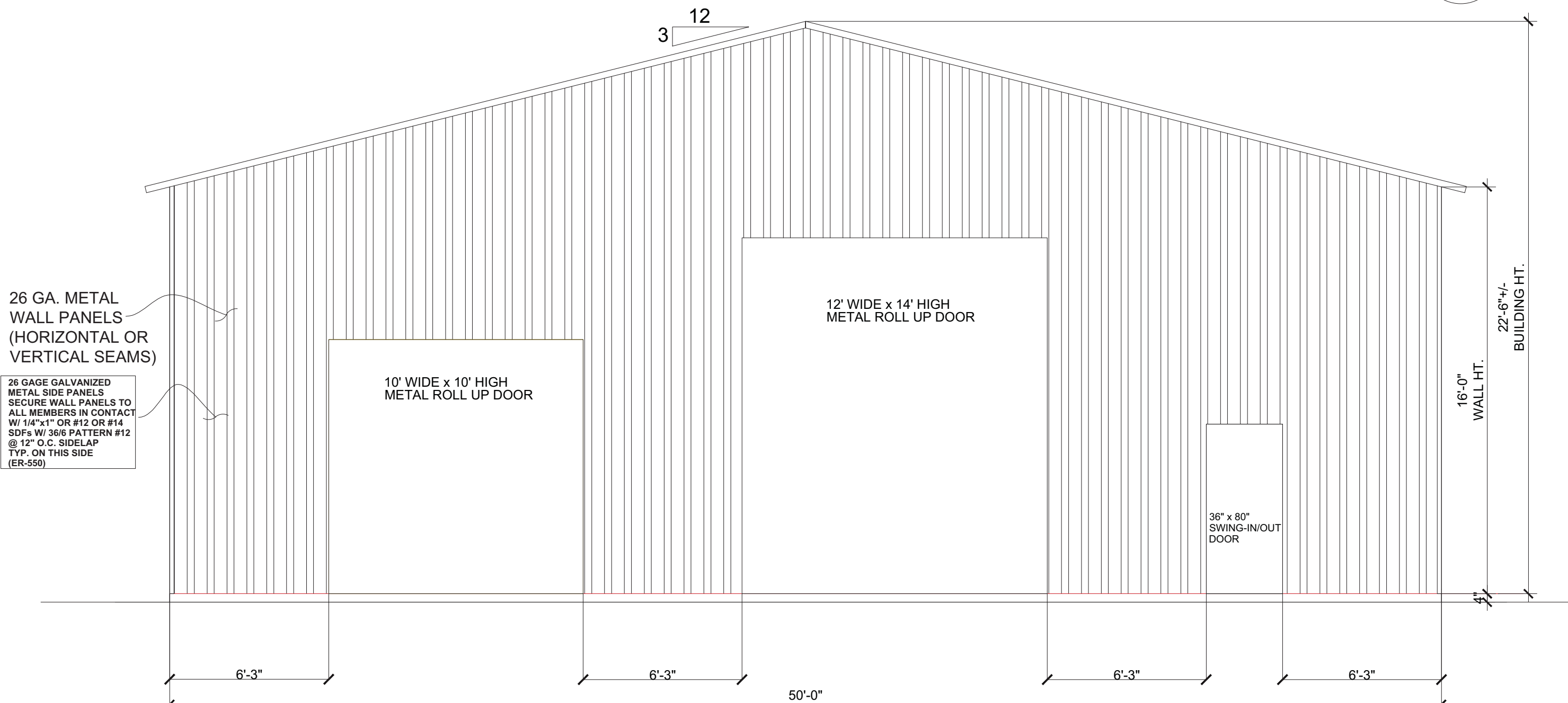
RIGHT ELEVATIONS

SCALE: 1/4" = 1'-0"



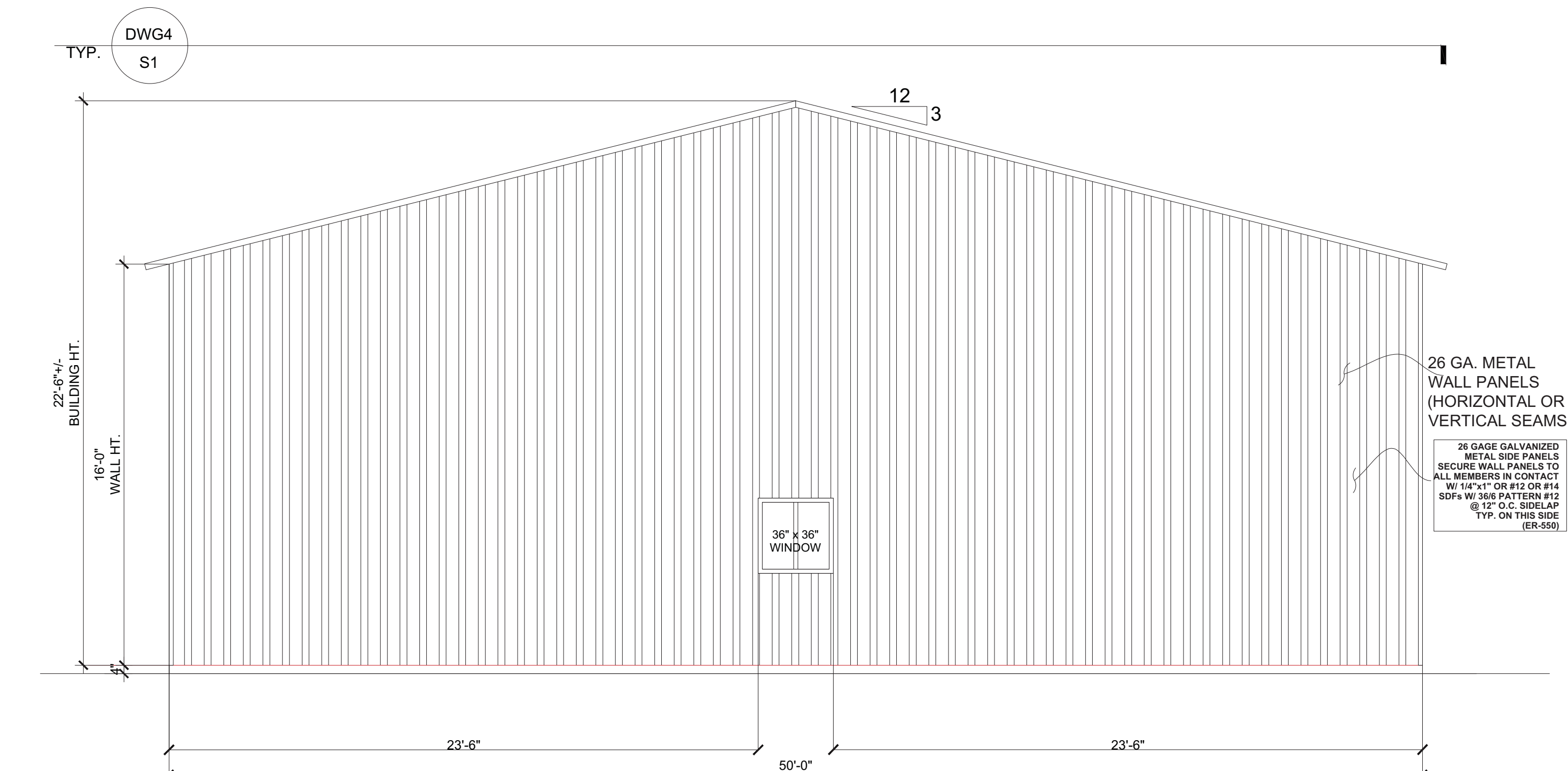
LEFT ELEVATIONS

SCALE: 1/4" = 1'-0"



FRONT ELEVATION

SCALE: 3/4" = 1'-0"



BACK ELEVATION

SCALE: 3/4" = 1'-0"

ENGINEER
R.S.

DRAWN BY
R.S.

DATE
06-18-24

REVISIONS:

UNITED CARPORTS
JOSE GUERRERO
10922 BRYAN ST.
YUCAIPA, CA 92399

SEAL



JUNE 20, 2024

A.S.C. ENGINEERS & ASSOCIATES

STRUCTURAL ENGINEERS • CIVIL DESIGN

CAD DRAFTING SERVICES

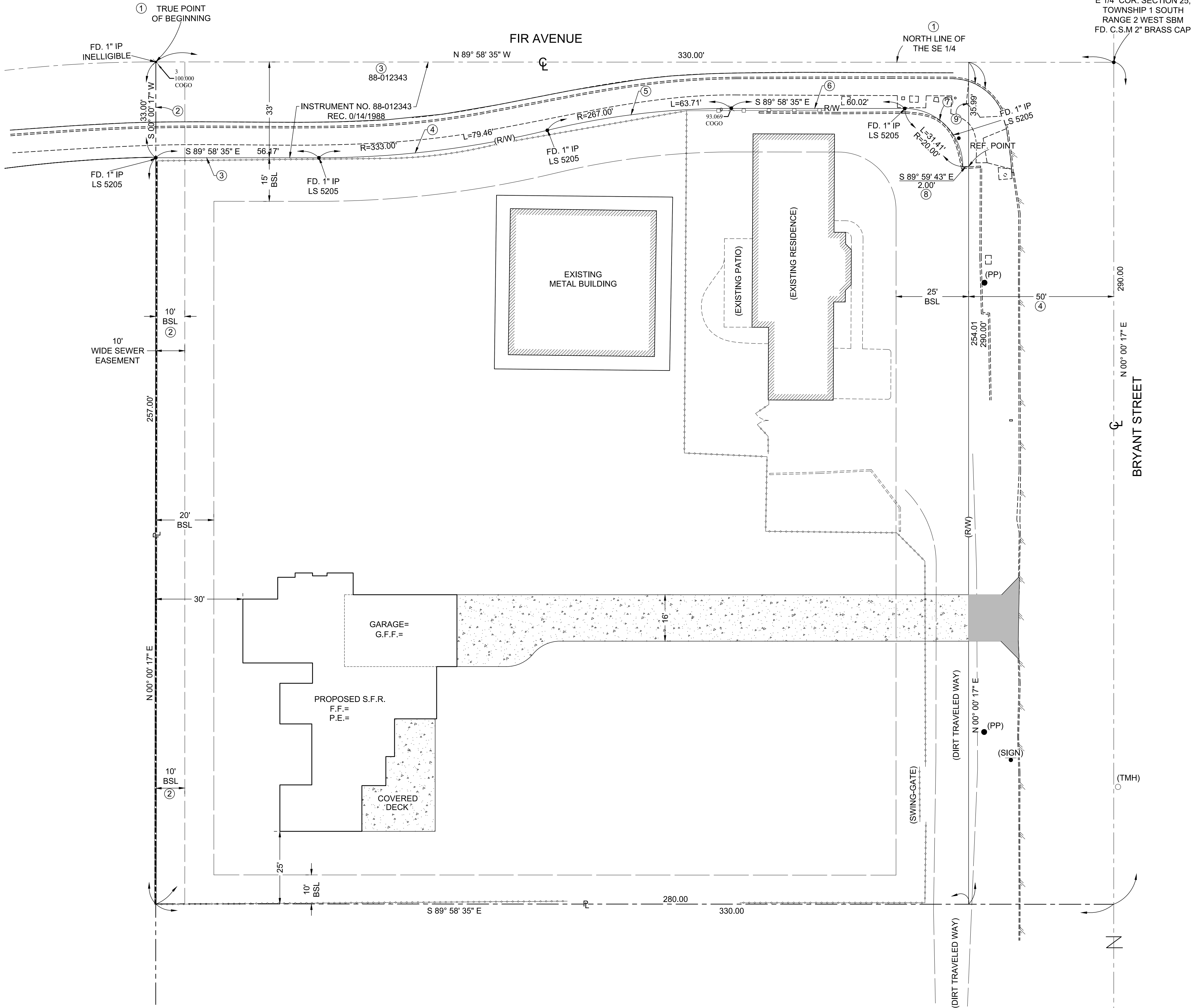
7868 N. MAPLE AVE.
CLOVIS, CA 93611

TELEPHONE: (559) 765-0584
FAX: (559) 765-0588

PROJECT NUMBER
5589

SHEET NUMBER
A1

EXHIBIT "A"
SITE PLAN
10922 BRYANT STREET



SURVEYOR'S NOTE:

C.S.M DENOTES SAN BERNARDINO COUNTY SURVEYORS MONUMENT

EASEMENT REFERENCES

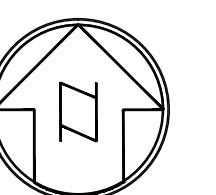
PER PRELIMINARY TITLE REPORT
PREPARED BY FILDEILITY NATIONAL TITLE
DATED AUGUST 25, 2023

- | | | |
|-----------------------------------|------------------------------------|--|
| ① | BK. 5128 PG 421
REC. 05/03/1960 | WATER RIGHTS AND EASEMENT
FOR CONSTRUCTION/MAINTAINING
PIPELINE AND FACILITIES |
| AFFECTS ENTIRE PARCEL NOT PLOTTED | | |
| ② | INSR. 85-31962
REC. 12-13-1985 | 10' WIDE SEWER EASEMENT
PLOTTED |
| ③ | INSR. 88-012343
REC. 12-13-1985 | VARIABLE WITH GRANT OF
EASEMENT FOR ROAD PURPOSES
PLOTTED |
| ④ | BOOK 7742
PG 989 | EXCERPTS EAST 50 FEET
FOR ROAD PURPOSES
BRYANT STREET |

THIS SITE PLAN WAS PREPARED BY ME
OR UNDER MY DIRECT SUPERVISION



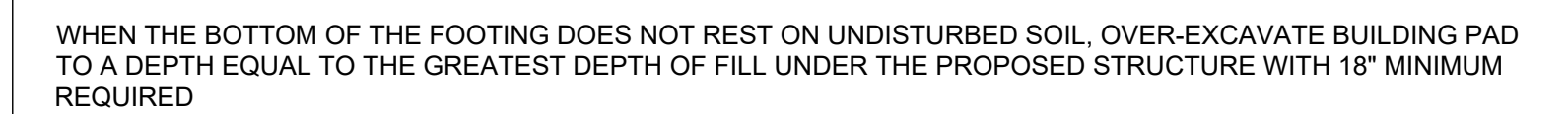

THOMAS E. RAGEN LS 6205



SCALE 1"=20'



FOR SLAB ON GRADE CONSTRUCTION ONLY
NOT REQUIRED FOR MOBILE HOMES OR
NON-HABITABLE STRUCTURES



NOT TO SCALE

- TRLS ENGINEERING INC CONDUCTED AND PREPARED THE TOPOGRAPHIC SURVEY FOR THIS GRADING PLAN.

IMPERVIOUS AREA:		
	ROOF	= 5,103 S.F.
	NON-ROOF	= 3,050 S.F.
	<u>TOTAL IMPERVIOUS AREA</u>	<u>= 8,153 S.F.</u>

RETENTION AREA REQUIRED
(PER SBCO PCWB CALCULATOR): = 112 CU. FT.

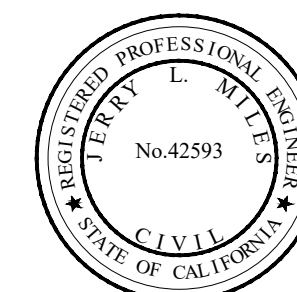
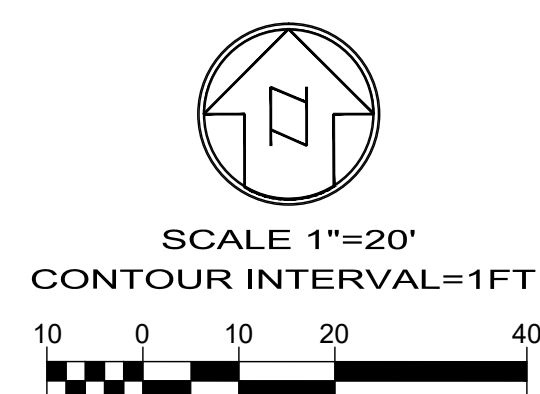
RETENTION AREA PROVIDED:
RETENTION AREA DA-A = 100 x 2.5 x 0.5 = 125 CU.FT.

GRADING LIMITS/ AREA OF DISTURBANCE = 33,989 S.F. (0.78 ACRES)
TOTAL LOT AREA = 74,400 S.F. (1.71 ACRES)

- ① GRADING LIMITS.
- ② CONSTRUCT CONCRETE DRIVEWAY TO THE LIMITS SHOWN.
- ③ CONSTRUCT ASPHALT DRIVEWAY APPROACH.
UNDER SEPARATE PERMIT.
- ④ CONSTRUCT CONCRETE WALKWAY TO LIMITS SHOWN.
- ⑤ LOT SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM
FOUNDATION WALLS. GRADE SHALL FALL A MINIMUM OF 6 INCHES
WITHIN THE FIRST 10 FEET. (5% MIN) C.R.C. R401.3
- ⑥ PROVIDE 2% MIN. SLOPE. IMPERVIOUS SURFACES WITHIN 10 FEET
OF THE BUILDING FOUNDATION SHALL BE SLOPED NOT LESS THAN
2% AWAY FROM THE BUILDING PER CBC 1804.4.
- ⑦ CONSTRUCT 0.5' DEEP RETENTION AREA TO LIMITS SHOWN.

SCALE:
S SHOWN

SHEET
G-1



02/09/2025
DATE

JERRY E. MILES



DRAWN BY:	TRLS
DATE:	

DESIGNED BY:
TRLS
DATE:

APPROVED BY:
DATE:
-



1-800-422-4133
UNDERGROUND SERVICE ALERT
Call at least 2 working days prior to excavating



AGENDA REPORT

DATE: Planning Commission Meeting of May 21, 2025

TO: Honorable Chairperson and Planning Commissioners

FROM: Katie Syme, Development Services Technician *KA*

SUBJECT: **Aida and Larry Keepers (Case No. PLN-PHE-25-0007):** A Special Use Permit for the Architectural Review of a 612 sq. ft. Alumawood patio cover addition to an existing, detached 1,190 sq. ft. Accessory Dwelling Unit on a single-residential property (RS-10M) at 13469 Douglas Street, Unit #2; APN: 1242-141-10.

RECOMMENDATION:

That the Planning Commission conduct a public hearing, and:

- A) Review the architectural design of the proposed accessory structure, and if it is acceptable, approve the design subject to the Conditions of Approval; and
- B) Adopt the Special Use Permit Findings as contained in the Agenda Report; and
- C) Adopt a Categorical Exemption pursuant to the California Environmental Quality Act of 1970 and the CEQA Guidelines, as amended, Section 15303 (Class 3); and
- D) Direct staff to file a Notice of Exemption.

BACKGROUND:

Area Land Use Designations; Improvement Levels; and Existing Land Uses:

Site:	RS-10M (Single Residential; 10,000 square foot minimum)	IL-1	Single-family residence
North:	RS-10M	IL-1	Single-family residence
South:	RS-10M	IL-1	Single-family residence
East:	RS-10M	IL-1	Single-family residence
West:	RS-10M	IL-1	Single-family residence

DISCUSSION:

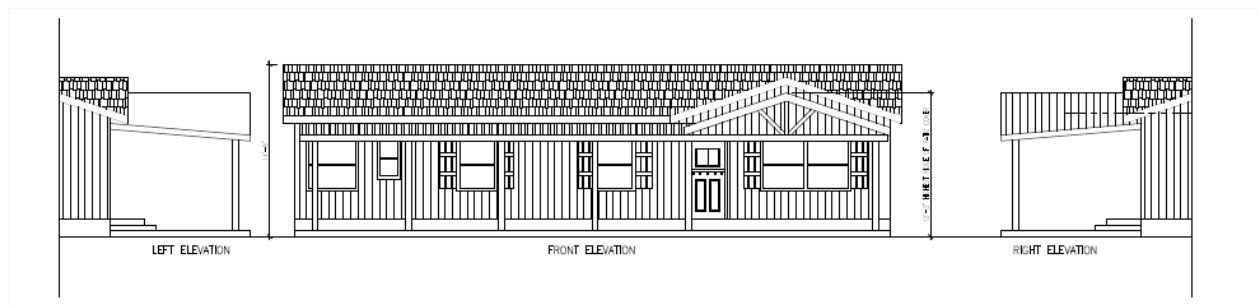
Special Use Permit for Architectural Review:

The applicant has submitted a Special Use Permit Application for the Architectural Review of the proposed addition of a 612 sq. ft. Alumawood patio cover to an existing 1190 sq. ft. Accessory Dwelling Unit (ADU) on a single-residential property. Pursuant to Development Code Section 84.0570(c)(3), an ADU may exceed 1,200 square feet to provide enclosed parking consisting of no more than 400 square feet or to provide additional non-habitable architectural features, such as a patio cover, of no more than 250 square feet without the requirement of a Special Use Permit review. However, the applicant proceeded with the Special Use Permit process as the project scope exceeded these specified thresholds.

The proposed structure is constructed on a 0.68-acre parcel that is located at 13469 Douglas Street Unit #2 in the RS-10M (Single-Residential, 10,000 square foot minimum lot size) Land Use District. There are similar single-family residential land uses on all properties that surround the site. The structure would provide shade and additional architectural features for the applicant's existing 1,190 square-foot ADU. The site is also improved with a one-story residence that provides 2,122 square feet of living space and an attached two (2) car garage.

The attached patio will feature a slanted roof and will be open on three (3) sides with no doors. The peak height of the proposed patio will be twelve (12) feet and three (3) inches. The new covered porch shall be constructed of Alumawood, a common aluminum material that is embossed, painted, and manufactured to resemble cedar wood grain for compatibility with residential homes. The entirety of the structure shall be painted to match the existing ADU's white trim and additional detailing is added to enhance the design of the ADU.

RENDERING OF PROPOSED STRUCTURE:



The structure is proposed to be constructed along the eastern portion of the property, approximately 100 feet from the primary residence, 165 feet from the front/west property line, 41 feet from the side/north property line, 14 feet from the rear/east property line, and 75 feet from the side/south property line. Ingress and egress will be provided via an existing driveway at the front of the property. The proposed location of the structure meets all setback requirements for structures in the

Single-Residential Land Use District according to the attached project plans, including the site plan, floor plan, elevations, and site photos.

Processing and Procedural Actions:

Notices of the Project were sent to all surrounding contiguous property owners, and no comments were received.

Staff is recommending that the Project is Categorically Exempt from the California Environmental Quality Act (CEQA), pursuant to Section 15303 of the CEQA Guidelines (Class 3 – Small Structures), as the Project consists of a patio to be used as an accessory structure.

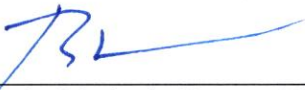
CONCLUSION:

The Project meets the standards for access and site design. The required findings and Conditions for approval of the Special Use Permit for the 1,802 square-foot accessory structure have been provided.

Attachments:

1. Findings for Special Use Permit
2. Land Use & Location Map
3. Site Photos
4. Conditions of Approval
5. Site Plan and Building Elevations

Approved by:



Benjamin Matlock, Deputy Director/Director of Community Services/City Planner
Development Services Department

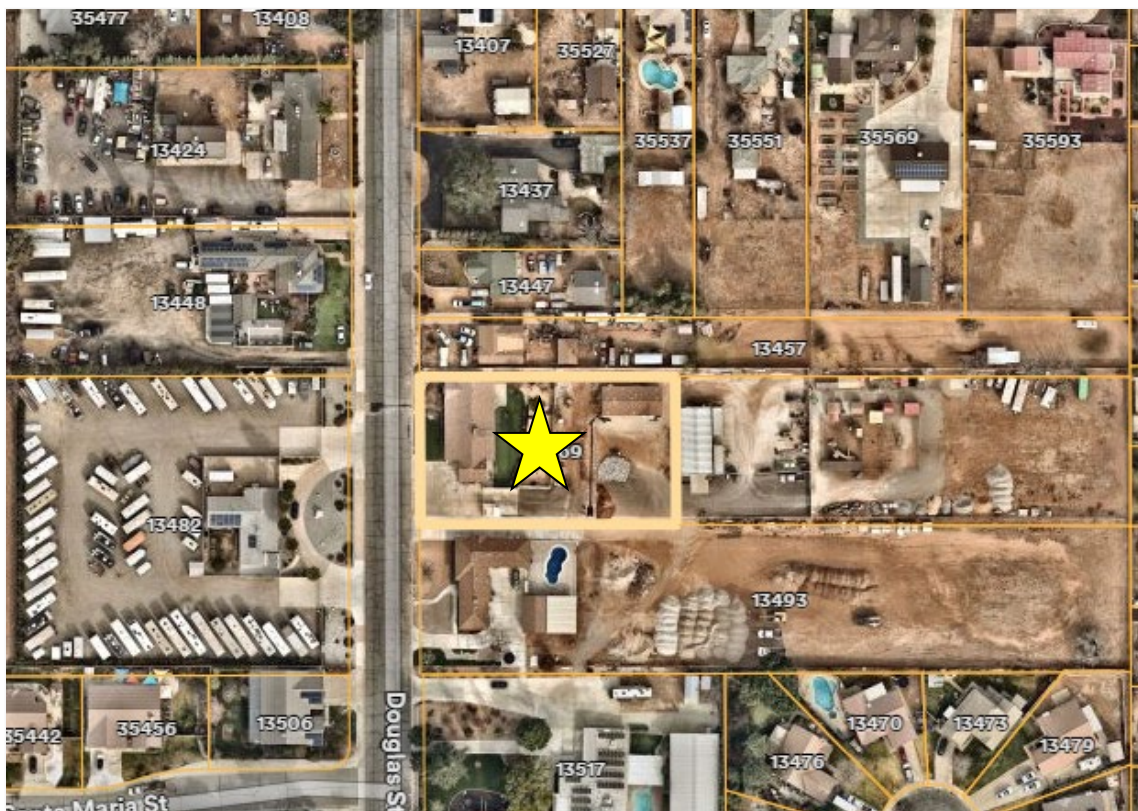
FINDINGS: SPECIAL USE PERMIT NO. PLN-PHE-25-0007

1. The site for the proposed use is adequate in size and shape to accommodate said use and all yards, building coverage, parking area, and other requirements of the Code, because the subject property is 0.68 acres in size and is adequate in area to accommodate the oversized accessory structure.
2. The accessory structure will be subordinate in size to the existing single-family residence. Its location and appearance are minimized as the existing fence and gate will provide screening, and the structure will be over 165 feet away from the street. Additionally, the color of the structure complements the property's existing residence to provide greater compatibility for the site and the other surrounding residential land uses.
3. Issuance of the permit shall not be detrimental to the public health, safety, or welfare, or injurious to the property or improvements in the vicinity and district in which the use is located, because the lawful conditions and building code requirements required for this structure to be built will ensure adequate circulation, drainage, and fire protection.
4. The appearance of the detached accessory structure and the method of construction are compatible with the surrounding built environment, because the building is compatible in size and height with surrounding houses and accessory structures, and will be required to obtain a building permit, ensuring that it has been built consistent with conceptual plans to be more compatible with the existing single-family residence on-site.

LAND USE: SINGLE-RESIDENTIAL (RS-10M)



SITE LOCATION:



SITE PHOTOS:





Applicant Name: Aida and Larry Keepers

Case No. PLN-PHE-25-0007

Conditions of Approval; 05-21-2025

SPECIAL USE PERMIT

CONDITION – *Note: The **gold** header which each Condition falls under is the timing metric for establishing when that Condition shall be satisfied.*

**DATE SATISFIED &
STAFF INITIALS**

ON-GOING CONDITIONS/GENERAL REQUIREMENTS:

PLANNING DIVISION (909) 797-2489 EXT. 252

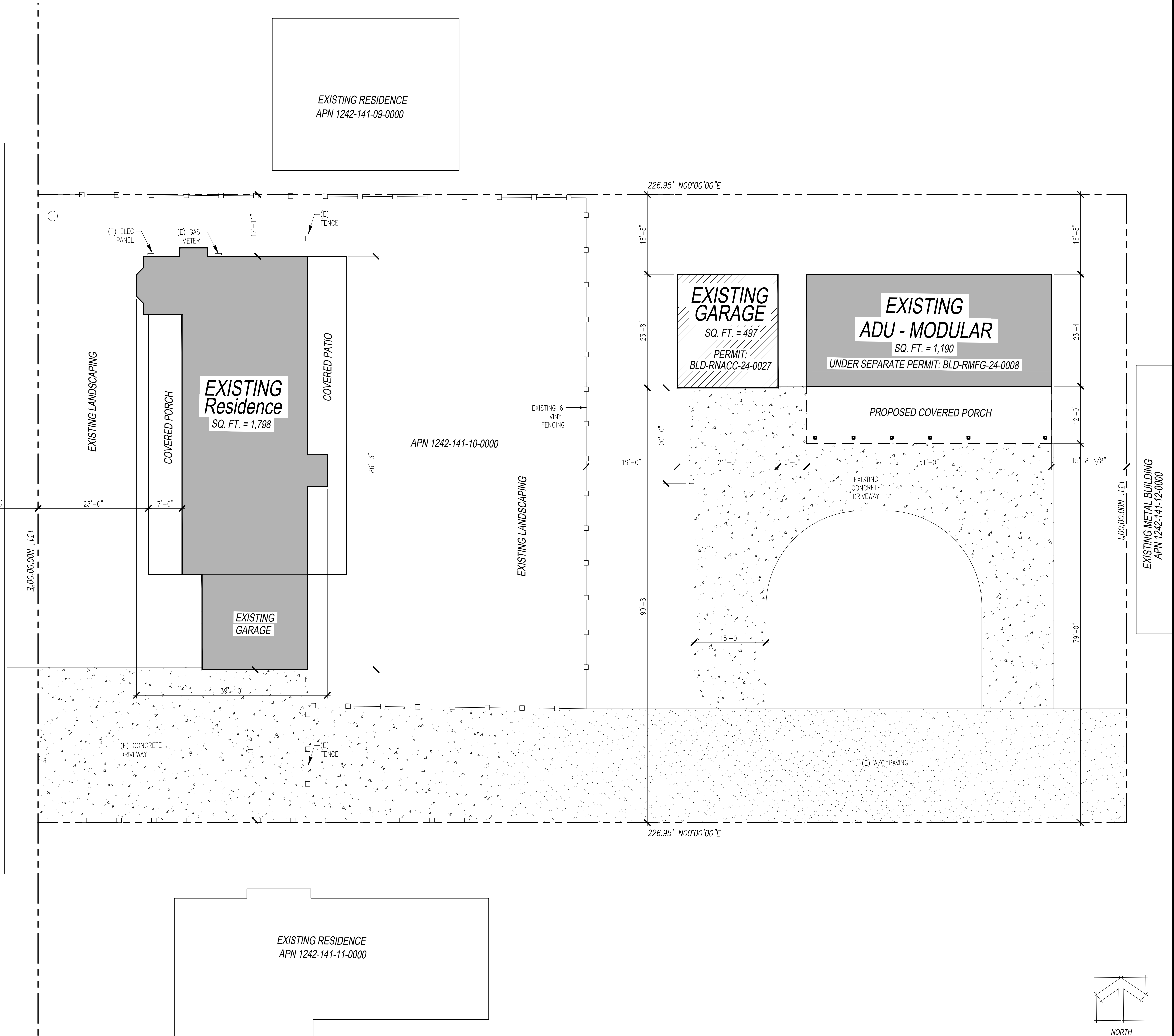
1. This Special Use Permit is for the addition of a 612 square foot Alumawood patio cover to an existing 1190 square foot Accessory Dwelling Unit on a single-residential property (RS-10M) at 13469 Douglas Street, Unit #2; APN: 1242-141-10. Any alteration or expansion of these facilities, or increase in the developed area of the site from that shown on the approved site plan, may require the submission of a new application or an additional application for Revisions for review and approval.
2. The applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any claim, action or proceeding attacking or seeking to set aside, void or annul the approval of all or part of the matters applied for, or any other claim, action or proceeding relating to or arising out of such approval. This obligation includes the obligation to reimburse the City, its agents, officers and employees for any court costs or attorney fees which the City, its agents, officers, or employees are required by a court to pay as a result of such claim, action or proceeding. The City agrees to notify the applicant of any such claim, action or proceeding promptly after the City becomes aware of it. The City may participate in the defense of the claim, action or proceeding, but such participation will not relieve the applicant of applicant's defense and indemnification obligations, including City expenses.
3. This Special Use Permit shall become null and void if all conditions have not been complied with and the occupancy or use of the land has not taken place within three (3) years of the date of approval. One extension of time, not to exceed three (3) years, may be granted upon written request and submittal of the appropriate fee not less than 30 days prior to the date of expiration. **PLEASE NOTE:** this will be the only notice given for the above specified expiration date. **The applicant is responsible for the initiation of an extension request.**
4. A Categorical Exemption is being issued for this project, pursuant to the California Environmental Quality Act of 1970 and the CEQA Guidelines, as amended. The applicant/owner shall deliver a \$50.00 administrative handling fee to the Planning Division within five (5) days after the effective date of conditional approval. **Payments shall be made with a Check, Money Order or Cashier's Check for \$50.00 made payable to the "Clerk of the Board".** The Planning Division shall then file the Notice of Exemption with

the Clerk. Proof of fee payment will be required prior to issuance of building permit.	
5. All conditions of this Special Use Permit are continuing conditions. Failure of the applicant and/or operator to comply with any or all of said conditions at any time may result in the revocation of the permit granted to use the property.	
THE FOLLOWING CONDITIONS SHALL BE MET PRIOR TO ISSUANCE OF A BUILDING PERMIT:	
<u>PLANNING DIVISION (909) 797-2489 EXT. 224</u>	
6. Provide detailed building elevations including materials, finishes, colors, and signage for all buildings for Planning Division review and approval prior to issuance of building permits. Building elevations shall be consistent with those approved by the Planning Commission.	
<u>BUILDING AND SAFETY DIVISION (909) 797-2489 EXT. 263</u>	
7. This project will require one or more building permits. Permits will require a complete permit application and complete building plans to be submitted for approval prior to commencement of work.	
8. This project shall comply with the latest requirements as set forth in the latest editions of the California Green Code, California Energy Code, California Accessibility Code, California Building Code, California Electrical Code, California Mechanical Code, California Plumbing Code, City of Yucaipa Municipal Code, San Bernardino County Environmental Health Service codes/regulations, and any other agency's codes/regulations that may govern this project.	
9. Separate submittals and permits are required for all structures, accessory structures such as but not limited to, trash enclosures, patios, trellises, gazebos block walls, signage, and storage buildings.	
SUBJECT PROPERTY SHALL NOT BE OCCUPIED AND/OR USED FOR PURPOSES APPLIED FOR UNTIL THE FOLLOWING CONDITIONS HAVE BEEN MET:	
<u>PLANNING DIVISION (909) 797-2489 EXT. 224</u>	
10. Any lights used to illuminate the site shall be hooded and designed so as to reflect away from adjoining properties and public thoroughfares.	
11. The proposed structure shall be painted to match the colors of the residence per the approved plans.	

DOUGLAS STREET

278'
TO DRIVEWAY

HYDRANT LOCATED SOUTH
ON SANTA MARIA STREET



PROJECT INFORMATION

OWNER: LARRY & AIDA KEEPERS
13469 DOUGLAS ST
YUCAIPA, CA 92399

PROJECT ADDRESS
13469 DOUGLAS ST, UNIT 2
YUCAIPA, CA 92399

ASSESORS PARCEL NUMBER
1242-141-10-0000

LEGAL DESCRIPTION:
BLOCK: 44; DISTRICT: 12; CITY, MUNICIPALITY, TOWNSHIP:
YUCAIPA; SUBDIVISION NAME: SUBDIVISION #6 PART YUCAIPA
VALLEY BRIEF DESCRIPTION: SUB NO 6 YUCAIPA VALLEY
N 131 FT S 263 FT W 256.95 FT BLK 44 MEAS TO ST C/L .65 AC M/L

SCOPE OF WORK:
SPECIAL USE PERMIT FOR PROPOSED 612 SQ FT ALUMIWOOD PATIO COVER
TO AN EXISTING 1190 SQ. FT. ADU

ZONING: RS-72C
OCCUPANCY TYPE: R-3/U
TYPE OF CONSTRUCTION: V - B
FIRE SPRINKLERS: ON MODULAR ADU ONLY
NO. OF STORIES: 1

BUILDING AREA'S:
(E) MAIN RESIDENCE LIVING SPACE 1,798 SQ. FT.
(E) ATTACHED GARAGE 440 SQ. FT.
(E) COVERED PORCH 379 SQ. FT.
(E) COVERED PATIO 504 SQ. FT.
(E) MODULAR ADU 1,190 SQ. FT.
(E) DETACHED GARAGE 497 SQ. FT.
(E) CONCRETE & ASPHALT AREAS 8,522 SQ. FT.
PROPOSED COVERED PORCH FOR MODULAR ADU 612 SQ. FT.

COVERAGE:
13,942 SQ. FT. / 29,737 (LOT AREA) = 46.88%

UTILITIES INFO

WATER: SOUTH MESA WATER DISTRICT (909) 795-2401
391 W AVENUE L, CALIMESA, CA 92320

SEWAGE: YUCAIPA VALLEY WATER DISTRICT (909) 797-6381
12770 2ND STREET, YUCAIPA, CA 92399

ELECTRIC: EDISON EASTERN OPERATIONS (800) 655-4555
2492 W SAN BERNARDINO AVE, REDLANDS, CA 92373

GAS: SOUTHERN CALIFORNIA GAS CO. (213) 244-1200
1981 W LUGONIA AVE, REDLANDS CA 92374

PHONE/CABLE: FRONTIER COMMUNICATIONS (909) 460-8041
738 S WATERMAN AVE #45, SAN BERNARDINO, CA 92408

PROJECT NOTES

1. NO TREES AFFECTED
2. NO HILLY TERRAIN EXISTS.
3. NO EASEMENTS.
4. NO GRADING PROPOSED FOR PATIO COVER.

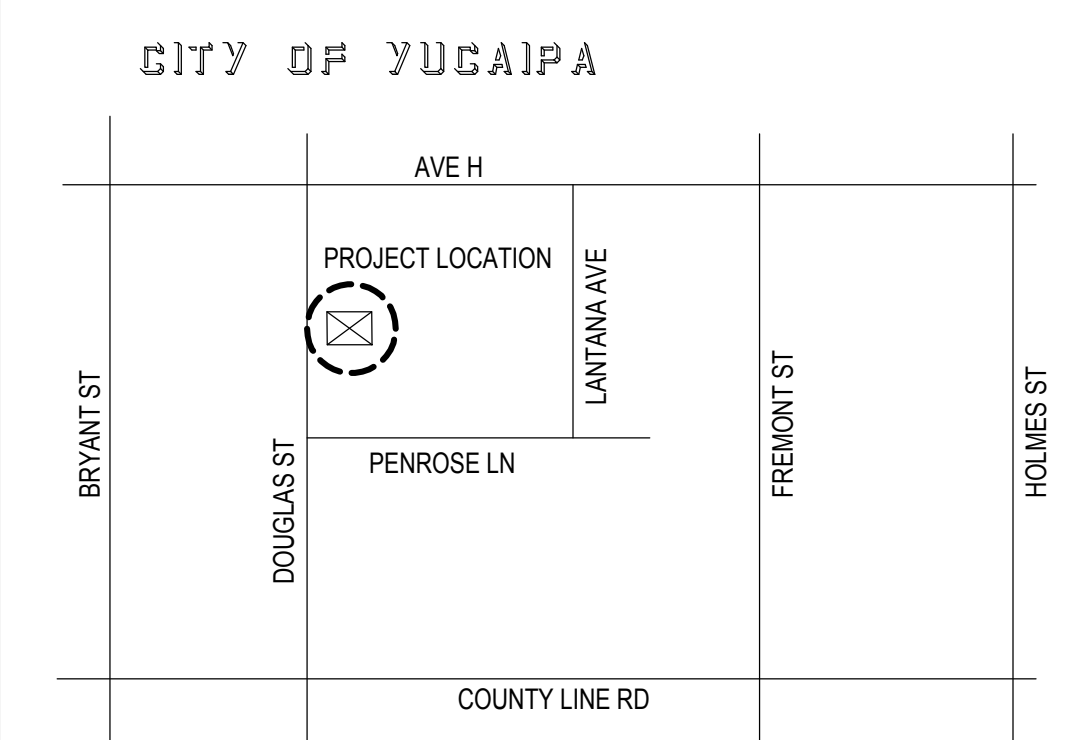
APPLICABLE CODES

2022 BUILDING STANDARDS ADMINISTRATIVE CODE, PART 1, TITLE 24 C.C.R.
2022 CALIFORNIA BUILDING CODE (CBC), PART 2, TITLE 24 C.C.R.
2022 CALIFORNIA ELECTRICAL CODE (CEC), PART 3, TITLE 24 C.C.R.
2022 CALIFORNIA FIRE CODE (CFC), PART 9, TITLE 24 C.C.R.
2022 CALIFORNIA REFERENCED STANDARDS CODE, PART 12, TITLE 24, C.C.R.
2022 TITLE 19, C.C.R., PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS
2022 NFPA 13 WITH CALIFORNIA AMENDMENTS
2022 CALIFORNIA RESIDENTIAL CODE PART 2.5

SHEET INDEX

SHT. NO.	DESCRIPTION
S 1.0	SITE PLAN FLOOR PLAN & ELEVATIONS

VICINITY MAP



FOR

Special Use Permit

Keepers Residence

13469 Douglas Street, Unit 2
Yucaipa, CA 92399

REVISIONS 04-09-2025

CONSTR.

BID

PLAN CHECK 02-26-2024

DRAWN JH

JOB NO. 24-062

SHEET NAME

ARCHITECTURAL SITE
PLAN

SHEET NO.

S

SHEET 1 OF -

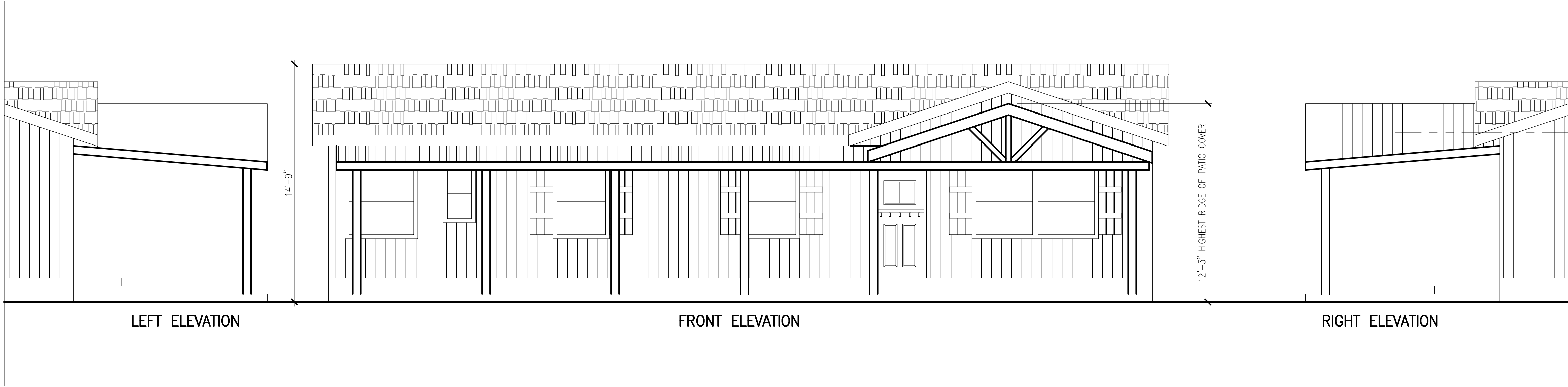
SITE PLAN

SCALE:
1" = 10.00'

1

ELEVATION NOTES

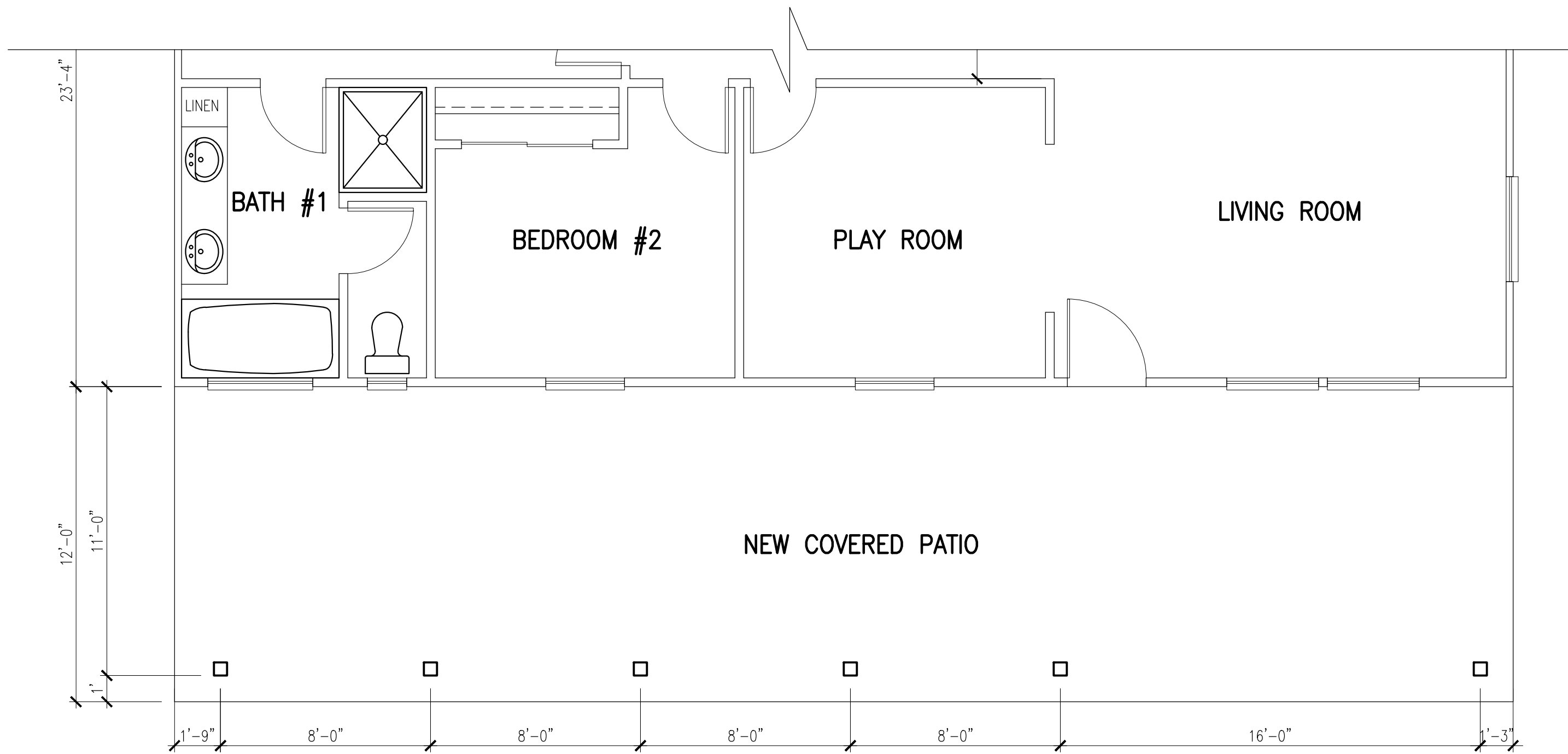
THE NEW COVERED PORCH SHALL BE WHITE ALUMAWOOD TO MATCH EXISTING WHITE TRIM OF ADU
ROOF IS WHITE METAL, MATCHING COLORS, ALL PATIO COVER TO BE WHITE INCLUDING ROOF



ELEVATIONS

SCALE: 1/4"=1'-0"

2



FLOOR PLAN

SCALE: 1/4"=1'-0"

1

FOR

Special Use Permit

Keepers Residence

13469 Douglas Street, Unit 2
Yucaipa, CA 92399

REVISIONS 04-09-2025

CONSTR.

BID

PLAN CHECK

DRAWN JH

JOB NO. 24-062

SHEET NAME

FLOOR PLAN

ELEVATIONS

SHEET NO.

1.0

SHEET 2 OF 2



AGENDA REPORT

DATE: May 21, 2025

TO: Honorable Chair and Planning Commissioners

FROM: Benjamin J. Matlock, Deputy Director of Community Development/City Planner 

SUBJECT: Draft Seven Year Capital Improvement Program (CIP)

RECOMMENDATION:

That the Planning Commission review the Draft Seven Year Capital Improvement Program, and adopt the Finding as contained in this Agenda Report.

BACKGROUND/DISCUSSION:

Each fiscal year, the Engineering Department and the Administrative Services Department prepare a Seven Year Capital Improvement Program (see attached) that outlines the City's anticipated long-term priorities for constructing capital improvement projects. The document, once adopted, is incorporated into the City's annual budget, and it provides the foundation for all of the City's annual CIP expenses.

California Government Code § 65401 requires that each local jurisdiction must submit its draft Capital Improvement Program to its Planning Agency each year to determine if the proposed public works projects recommended for planning, initiation, or construction during the ensuing fiscal year are in conformance with the General Plan, all applicable specific plans, and all elements and parts thereof.

The Draft 2025-2026 Annual Budget was presented to the City Council on May 12, 2025. One of the components of the budget is the Seven Year Capital Improvement Program, where its costs were considered as part of the upcoming fiscal year budget process. The individual projects outlined in the Program have been reviewed by staff to ensure their conformity with the General Plan, and therefore, it is appropriate for the Planning Commission to adopt the necessary finding to comply with the Government Code requirement prior to Council formally adopting the budget for the Program.

FINDING:

The public works projects identified in the Seven Year Capital Improvement Program for fiscal years 2025/2026 through 2031/2032 are in conformance with the City's General Plan, all applicable specific plans, and all elements and parts of the plan.

Attachment(s):

1. Draft Seven Year Capital Improvement Program for the Proposed FY 25/26 Budget

CAPITAL IMPROVEMENT PROGRAM FOR FY2025-2026 BUDGET

City of Yucaipa
Capital Improvement Program
Street Maintenance (Pavement Management Program)

Project Number	Project Name	Funding Source	Life to Date	Prior Year	Estimated	Current Year						TBD	Total
			Estimated Actuals as of 6/30/2025		Authorized Budget	Remaining Budget as of 6/30/2025	Request	FY 2026-27	FY 2027-28	FY 2028-29	FY 2029-30		
C10021	2023-24 Pavement Rehab Program												
	Native Fund (PMP Fund)		1,794,332	2,241,403	447,071	-	-	-	-	-	-	-	2,241,403
	Subtotal		1,794,332	2,241,403	447,071	-	-	-	-	-	-	-	2,241,403
C10029	Uptown Alley, Parking & Access Improvement												
	Gas Tax Fund		-	55,000	55,000	-	-	-	-	-	-	-	55,000
	General Fund		-	15,000	15,000	-	-	-	-	-	-	-	15,000
	Subtotal		-	70,000	70,000	-	-	-	-	-	-	-	70,000
C10033	2024-25 Pavement Rehab Program												
	Native Fund (PMP Fund)		2,141,493	2,169,250	27,757				-	-	-	-	2,169,250
	Subtotal		2,141,493	2,169,250	27,757	-	-	-	-	-	-	-	2,169,250
C10034	2024-25 Surface Treatment Program												
	Native Fund (PMP Fund)		215,000	1,170,964	955,964	-	-	-	-	-	-	-	1,170,964
	Subtotal		215,000	1,170,964	955,964	-	-	-	-	-	-	-	1,170,964
C10035	2024-25 Crack Seal Program												
	General Fund (Native/Misc. Capital Proj)		2,000	154,279	152,279	-	-	-	-	-	-	-	154,279
	Street Maintenance Fund (Native/Misc Capital Projects Fd)		2,000	154,279	152,279	-	-	-	-	-	-	-	154,279
C10036	2024-25 AC Berm Program												
	Native Fund (PMP Fund)		2,000	83,712	81,712	-	-	-	-	-	-	-	83,712
	Subtotal		2,000	83,712	81,712	-	-	-	-	-	-	-	83,712
C10037	2024-25 Patching Program												
	Native Fund (PMP Fund)		2,000	150,000	148,000	-	-	-	-	-	-	-	150,000
	Subtotal		2,000	150,000	148,000	-	-	-	-	-	-	-	150,000
C10038	2024-25 Concrete Program												
	Native Fund (PMP Fund)		200,104	209,279	9,175	-	-	-	-	-	-	-	209,279
	Subtotal		200,104	209,279	9,175	-	-	-	-	-	-	-	209,279
C10039	2024-25 Understreet Drain Pipe Prgm												
	Native Fund (PMP Fund)		1,000	41,856	40,856	-	-	-	-	-	-	-	41,856
	Subtotal		1,000	41,856	40,856	-	-	-	-	-	-	-	41,856
	Water Smart Grant												
C10040	2024-25 Striping Program												
	Native Fund (PMP Fund)		80,000	83,712	3,712	-	-	-	-	-	-	-	83,712
	Subtotal		80,000	83,712	3,712	-	-	-	-	-	-	-	83,712
C10041	2024-25 Traffic Calming Program												
	Native Fund (PMP Fund)		15,000	62,784	47,784	-	-	-	-	-	-	-	62,784
	Subtotal		15,000	62,784	47,784	-	-	-	-	-	-	-	62,784
													-
	FY26 PMP Allocations to be Programmed ¹												62,784
	Native Fund (PMP Fund)		-	-	-	3,727,387	-	-	-	-	-	-	3,727,387
	Subtotal		-	-	-	3,727,387	-	-	-	-	-	-	3,790,171
	Total		4,452,929	6,437,239	1,984,310	3,727,387	-	-	-	-	-	-	10,164,626
	FY26 PMP Funding Allocations - "Exhibit B"												
	Measure I - Sales Tax					2,182,387							
	Gas Tax/Prop 42					45,000							
	SB1					1,350,000							
	Inter-Agency Funding Agreements					150,000							
	Total		-	-	-	3,727,387	-	-	-	-	-	-	-

Note: FY26 PMP Allocations are to be assigned to projects or programs throughout the year by staff, consistent with Exhibit B of the FY2025/2026 Pavement Management Program update that was authorized by City Council on April 28,2025, including transfers when necessary.

NOTE: INFORMATION PROVIDED HEREIN IS SUBJECT TO MINOR REVISIONS IF REQUIRED DURING FINAL ENGINEERING/FINANCE REVIEW OF THE DOCUMENT PRIOR TO CITY COUNCIL ADOPTION OF THE BUDGET/CIP (ANTICIPATED ON JUNE 9, 2025)

City of Yucaipa
Capital Improvement Program
Drainage Facilities (Developer Impact Fees)

Project Number	Project Name	Funding Source	Life to Date	Prior Year	Estimated	Current Year						Total
			Estimated Actuals as of 6/30/2025	Authorized Budget	Remaining Budget as of 6/30/2025	Additional Budget Request FY 2025-26	FY 2026-27	FY 2027-28	FY 2028-29	FY 2029-30	TBD	
C05136	Wilson Creek Detention Basin III/Business Park											
	General Fund		290,000	290,000	-	-	-	-	-	-	-	290,000
	River Parkways Grant		601,960	1,150,000	548,040	-	-	-	-	-	-	1,150,000
	State Grant - OneWtrOneWtrshed (Native Fd/Drainage DIF)		735,541	750,000	14,459	-	-	-	-	-	-	750,000
	ARPA		927,000	927,000	-	-	-	-	-	-	-	927,000
	Native Fund (Drainage DIF)		587,353	1,152,000	564,647	-	-	-	-	-	-	1,152,000
	SBCVMWD (Native Fund/Drainage DIF)		9,804,756	10,493,575	688,819	-	-	-	-	-	-	10,493,575
	Fill Dirt Reimbursement (Native Fd/Drainage DIF)		1,843,850	1,843,850	-	-	-	-	-	-	-	1,843,850
	SBCFD Excess Property (Native Fd/Drainage DIF)		400,000	400,000	-	-	-	-	-	-	-	400,000
	Phase 1D - Funding TBD		-	-	-	-	-	-	-	-	5,000,000	5,000,000
	Phase 2 - Funding TBD		-	-	-	-	-	-	-	-	10,000,000	10,000,000
	Community Project Funding		-	-	-	-	-	-	-	-	1,000,000	1,000,000
	Subtotal		15,190,460	17,006,425	1,815,965	-	-	-	-	-	16,000,000	33,006,425
C05155	Wilson Creek 14th to I-10											
	General Fund (Native Fd/Drainage DIF)		2,338,183	2,537,000	198,817	-	-	-	-	-	-	2,537,000
	Traffic Safety (Native Fd/Drainage DIF)		718,782	1,037,000	318,218	-	-	-	-	-	-	1,037,000
	General Fund (Native/Misc. Capital Projects Fund)		660,000	660,000	-	-	-	-	-	-	-	660,000
	Street Maintenance Fund (Native/Misc Capital Projects Fd)		681,000	681,000	-	-	-	-	-	-	-	681,000
	Fill Dirt Reimbursement (Native Fd/Drainage DIF)		936,062	1,110,000	173,938	-	-	-	-	-	-	1,110,000
	Subtotal		5,334,027	6,025,000	690,973	-	-	-	-	-	-	6,025,000
C05259	Wildwood Creek Restoration											
	SBCFCD (Native Fd/Drainage DIF)		173,133	300,000	126,867	-	-	-	-	-	-	300,000
	Native Fund (Drainage DIF)		-	270,000	270,000	-	-	-	-	-	-	270,000
	Army Corps (Native Fd/Drainage DIF)		-	561,000	561,000	-	-	-	-	-	-	561,000
	Subtotal		173,133	1,131,000	957,867	-	-	-	-	-	-	1,131,000
C05264	13th Street Detention Basin											
	General Fund (Native Fd/Drainage DIF)		97,410	150,000	52,590	-	-	-	-	-	-	150,000
	Subtotal		97,410	150,000	52,590	-	-	-	-	-	-	150,000
C05295	Wildwood Creek Basin #4											
	Native Fund (Drainage DIF)		257,118	277,000	19,882	-	-	-	-	-	-	277,000
	ARPA CLFRF Grant		563	880,000	879,437	-	-	-	-	-	-	880,000
	Water Smart Grant		55,330	227,000	171,670	-	-	-	-	-	-	227,000
	Congressional Community Spending		190,273	1,800,000	1,609,727	-	-	-	-	-	-	1,800,000
	Subtotal		503,284	3,184,000	2,680,716	-	-	-	-	-	-	3,184,000
	Total		21,298,314	27,496,425	6,198,111	-	-	-	-	-	16,000,000	43,496,425

City of Yucaipa
Capital Improvement Program
Traffic Facilities (Developer Impact Fees)

Project Number	Project Name	Funding Source	Life to Date Estimated Actuals as of 6/30/2025	Prior Year Authorized Budget	Estimated Remaining Budget as of 6/30/2025	Current Year Additional Budget Request					TBD	Total
						FY 2025-26	FY 2026-27	FY 2027-28	FY 2028-29	FY 2029-30		
C05024	Wildwood Canyon Interchange											
	Native Fund (Traffic DIF)		1,333,936	1,437,000	103,064	-	-	-	-	-	-	1,437,000
	Measure I 2010-40 Advanced CPNA (F206)		375,420	990,000	614,580	-	-	-	-	-	-	990,000
	SB1 (RMRA)		250,000	250,000	-	-	-	-	-	-	-	250,000
	Measure I CPNA		694,690	750,000	55,310	-	-	-	-	-	-	750,000
	SBCTA Reimbursement (Native Fd/Traffic DIF)		834,011	1,250,000	415,989	-	-	-	-	-	-	1,250,000
	General Fund (Native Fd/Traffic DIF)		100,000	100,000	-	-	-	-	-	-	-	100,000
	Construction Phase (TBD)		-	-	-	-	-	-	-	-	135,000,000	135,000,000
	Subtotal		3,588,057	4,777,000	1,188,943	-	-	-	-	-	135,000,000	139,777,000
C05096	Intersections Along Ave E											
	Native Fund (Traffic DIF)		39,579	1,558,000	1,518,421	-	-	-	-	-	-	1,558,000
	Measure I CPNA		3,914,389	5,043,000	1,128,611	-	-	-	-	-	-	5,043,000
	SB1 (RMRA)		1,058,962	1,068,000	9,038	-	-	-	-	-	-	1,068,000
	Prop 1B (AQMDFd)		219,000	219,000	-	-	-	-	-	-	-	219,000
	Traffic Safety Fd		1,037,000	1,037,000	-	-	-	-	-	-	-	1,037,000
	Measure I 2010-40 Advanced CPNA (F206)		89,217	1,165,000	1,075,783	-	-	-	-	-	-	1,165,000
	General Fund (Native/Misc. Capital Projects Fund)		-	-	-	-	-	-	-	-	6,000,000	6,000,000
	Street Maintenance Fund (Native/Misc Capital Projects Fd)		6,358,147	10,090,000	3,731,853	-	-	-	-	-	6,000,000	16,090,000
C05107	Yucaipa Blvd Improvements 15th St.-10 Frwy											
	Native Fund (Traffic DIF)		3,891,476	4,218,000	326,524	590,000	-	-	-	-	-	4,808,000
	Fed Grant - HSIP		715,000	715,000	-	-	-	-	-	-	-	715,000
	Measure I CPNA		5,269,541	9,861,000	4,591,459	755,000	-	-	-	-	-	10,616,000
	Street Maintenance Fund		172,000	172,000	-	-	-	-	-	-	-	172,000
	AQMD		27,000	27,000	-	-	-	-	-	-	-	27,000
	SB1 (RMRA)		394,000	394,000	-	-	-	-	-	-	-	394,000
	MSRC Grant		26,000	26,000	-	-	-	-	-	-	-	26,000
	Phase 3 - Construction Funding TBD		-	-	-	-	-	-	-	-	8,500,000	8,500,000
	Subtotal		10,495,017	15,413,000	4,917,983	1,345,000	-	-	-	-	8,500,000	25,258,000
C05174	County Line & Calimesa Blvd Imrovements (Bryant to I-10)											
	SB1 (RMRA)		685,000	685,000	-	-	-	-	-	-	-	685,000
	Measure I CPNA		2,981,389	3,828,000	846,611	-	-	-	-	-	-	3,828,000
	MSRC Grant*		174,420	380,000	205,580	(205,580)	-	-	-	-	-	174,420
	Water Smart Grant		200,000	200,000	-	-	-	-	-	-	-	200,000
	Measure I 2010-40 Advanced CPNA (F206)		2,615,835	3,041,000	425,165	-	-	-	-	-	-	3,041,000
	Native Fund (Traffic DIF)		25,000	402,000	377,000	-	-	-	-	-	-	402,000
	SB1 RMRA / LPP Grant (Native/Traffic DIF)		1,986,000	1,986,000	-	-	-	-	-	-	-	1,986,000
	Subtotal		8,667,644	10,522,000	1,854,356	(205,580)	-	-	-	-	-	10,316,420
C05230	Oak Glen Widening, Colorado to Outer Highway 10 South											
	Street Maintenance Fund(Native/Traffic DIF)		49,397	61,389	11,992	-	-	-	-	-	-	61,389
	Native Fund (Traffic DIF)		1,249,745	1,512,500	262,755	-	-	-	-	-	-	1,512,500
	Phase 4 - Construction TBD		-	-	-	-	-	-	-	-	945,000	945,000
	Subtotal		1,299,142	1,573,889	274,747	-	-	-	-	-	945,000	2,518,889
C05241	Yucaipa Blvd Fiber Optic Signal Interconnect											
	Measure I CPNA		20,262	120,000	99,738	-	-	-	-	-	-	120,000
	Subtotal		20,262	120,000	99,738	-	-	-	-	-	-	120,000
C05355	County Line Rd/I-10 Fwy PSR/PR											
	Native Fund (Traffic DIF)		86,656	94,000	7,344	-	-	-	-	-	-	94,000
	Native Fund (Traffic DIF)		2,500	60,000	57,500	-	-	-	-	-	-	60,000
	Measure I CPNA		2,500	346,000	343,500	-	-	-	-	-	-	346,000
	Subtotal		91,656	500,000	408,344	-	-	-	-	-	-	500,000
	Total		30,519,925	42,995,889	12,475,964	1,139,420	-	-	-	-	150,445,000	194,580,309

City of Yucaipa
Capital Improvement Program
Public Facilities (Developer Imact Fees)

Project Number	Project Name	Funding Source	Life to Date Estimated Actuals as of 6/30/2025	Prior Year Authorized Budget	Estimated Remaining Budget as of 6/30/2025	Current Year Additional Budget Request					TBD	Total
						FY 2025-26	FY 2026-27	FY 2027-28	FY 2028-29	FY 2029-30		
C05324	City Yard Relocation											
	Native Fund (Public Facilities DIF)		117,714	118,000	286	-	-	-	-	-	-	118,000
	Street Maintenance Fd		240,000	240,000	-	-	-	-	-	-	-	240,000
	General Fund (Native Fd/Public Facilities DIF)		1,525,174	1,530,000	4,826	-	-	-	-	-	-	1,530,000
	Capital Projects Fd		1,500,000	1,500,000	-	-	-	-	-	-	-	1,500,000
	Subtotal		3,382,888	3,388,000	5,112	-	-	-	-	-	-	3,388,000
C05331	EV Charging Infrastructure*											
	MSRC Grant		-	63,097	63,097	(63,097)	-	-	-	-	-	-
	Street Maintenance Fd		5,787	21,033	15,246	-	-	-	-	-	-	21,033
	Construction Funding TBD		-	-	-	-	-	-	-	-	150,000	150,000
	Subtotal		5,787	84,130	78,343	(63,097)	-	-	-	-	150,000	171,033
	Total		3,388,675	3,472,130	83,455	(63,097)	-	-	-	-	150,000	3,559,033

Project Number	Project Name	Funding Source	Life to Date	Prior Year	Estimated	Current Year						TBD	Total
			Estimated	Authorized	Remaining Budget	Additional Budget							
			as of 6/30/2025	Budget	as of 6/30/2025	Request	FY 2025-26	FY 2026-27	FY 2027-28	FY 2028-29	FY 2029-30		
C05013	Equestrian Center/Neighborhood Park												
	General Fund		195,000	195,000	-	-	-	-	-	-	-	195,000	
	Native Fund (Park Facilities DIF)		431,000	431,000	-	-	-	-	-	-	-	431,000	
	Park Capital Replacement Fd (Native Fd/Park Facilities DIF)		239,000	249,000	10,000	-	-	-	-	-	-	249,000	
	Subtotal		865,000	875,000	10,000	-	-	-	-	-	-	875,000	
C05041	13th Street Sports Complex												
	General Fund (Native Fd/Park Facilities DIF)		872,524	968,000	95,476	-	-	-	-	-	-	968,000	
	Park Capital Replacement		641,000	641,000	-	-	-	-	-	-	-	641,000	
	IERCD Mitigation (Native Fd/Park Facilities DIF)		105,000	105,000	-	-	-	-	-	-	-	105,000	
	YVNLL/YVALL In-Kind (Native Fd/Park Facilities DIF)		320,656	327,000	6,344	-	-	-	-	-	-	327,000	
	RDA (Native Fd/Park Facilities DIF)		900,000	900,000	-	-	-	-	-	-	-	900,000	
	Subtotal		2,839,180	2,941,000	101,820	-	-	-	-	-	-	2,941,000	
C05146	El Dorado Park / Five Winds Ranch Park												
	General Fund		971,000	971,000	-	-	-	-	-	-	-	971,000	
	Drainage DIF (Native Fd/Park Facilities DIF)		604,635	625,000	20,365	-	-	-	-	-	-	625,000	
	General Fund (Native/Misc. Capital Projects Fund)		711,546	745,000	33,454	-	-	-	-	-	-	745,000	
	Street Maintenance Fund (Native/Misc Capital Projects Fd)		16,684	105,000	88,316	-	-	-	-	-	-	105,000	
	Capital Projects Fund (Native Fd/Park Facilities DIF)		245	1,000,000	999,755	-	-	-	-	-	-	1,000,000	
	Subtotal		2,304,110	3,446,000	1,141,890	-	-	-	-	-	-	3,446,000	
C05329	Wildwood Mountain Bike Trail/Single Track												
	General Fund		88,000	88,000	-	-	-	-	-	-	-	88,000	
	Native Fund (Park Facilities DIF)		42,000	42,000	-	-	-	-	-	-	-	42,000	
	Park Capital Replacement Fd (Native Fd/Park Facilities DIF)		45,189	47,000	1,811	-	-	-	-	-	-	47,000	
	Subtotal		175,189	177,000	1,811	-	-	-	-	-	-	177,000	
C05351	Flag Hill Park												
	Native Fund (Park Facilities DIF)		2,391	100,000	97,609	-	-	-	-	-	-	100,000	
	Subtotal		2,391	100,000	97,609	-	-	-	-	-	-	100,000	
	Total		6,185,870	7,539,000	1,353,130	-	-	-	-	-	-	7,539,000	

City of Yucaipa
Capital Improvement Program
Park Capital Replacement

Project Number	Project Name	Funding Source	Life to Date	Prior Year	Estimated	Current Year							TBD	Total	
			Estimated	Actuals	Authorized	Remaining Budget	Additional Budget Request								
			as of 6/30/2025		Budget	as of 6/30/2025	FY 2025-26	FY 2026-27	FY 2027-28	FY 2028-29	FY 2029-30				
C05194	BMX Park														
		Native Fund (Park Capital Preplacement Fund)		12,104	58,000	45,896	-	-	-	-	-	-	-	58,000	
		Park DIF (native/Park Capital Replacement Fund)		12,104	25,000	12,896	-	-	-	-	-	-	-	25,000	
		Subtotal		24,208	83,000	58,792	-	-	-	-	-	-	-	83,000	
C10012	7th Street New Dog Park Fencing and Mulch														
		Native Fund (Park Capital Preplacement Fund)		8,950	60,000	51,050	-	-	-	-	-	-	-	60,000	
		Subtotal		8,950	60,000	51,050	-	-	-	-	-	-	-	60,000	
C10013	Rubber playground surfacing at Comm														
		Native Fund (Park Capital Preplacement Fund)		138,600	150,000	11,400	-	-	-	-	-	-	-	150,000	
		Subtotal		138,600	150,000	11,400	-	-	-	-	-	-	-	150,000	
C10014	Renovate Community Center Restroom														
		Native Fund (Park Capital Preplacement Fund)		109,601	120,000	10,399	-	-	-	-	-	-	-	120,000	
		Subtotal		109,601	120,000	10,399	-	-	-	-	-	-	-	120,000	
		Total		281,359	413,000	131,641	-	-	-	-	-	-	-	413,000	

City of Yucaipa
Capital Improvement Program
Air Quality Improvement

Project Number	Project Name	Funding Source	Life to Date	Prior Year	Estimated	Current Year						TBD	Total
			Estimated Actuals as of 6/30/2025	Authorized Budget	Remaining Budget as of 6/30/2025	Budget Request FY 2025-26	FY 2026-27	FY 2027-28	FY 2028-29	FY 2029-30			
C05179	Avenue E Sidewalks 13th to Dunlap Channel												
		State Grant-CalTRANS (Fd 236)	-	348,000	348,000	(348,000)	-	-	-	-	-	-	
		General Fund (Native Fd/Sidewalks Fund)	10,000	30,000	20,000	-	-	-	-	-	-	30,000	
		Traffic Safety Fd (Native Fd/Sidewalks Fund)	34,622	78,000	43,378	-	-	-	-	-	-	78,000	
		Native Fund (Sidewalks Fund)	44,163	142,000	97,837	-	-	-	-	-	-	142,000	
		Drainage Improvement - Funding TBD	-	-	-	-	-	-	-	-	250,000	250,000	
		Subtotal	88,785	598,000	509,215	(348,000)	-	-	-	-	250,000	500,000	
C05213	Yucaipa Blvd 2nd to 5th ADA Improvements												
		General Fund	121,000	121,000	-	-	-	-	-	-	-	121,000	
		TDA Article 3	150,000	150,000	-	-	-	-	-	-	-	150,000	
		Traffic Safety Fd	690,000	690,000	-	-	-	-	-	-	-	690,000	
		MSRC Grant	120,000	120,000	-	-	-	-	-	-	-	120,000	
		Street Maintenance	85,000	85,000	-	-	-	-	-	-	-	85,000	
		Traffic DIF	1,519	990,000	988,481	(590,000)	-	-	-	-	-	400,000	
		Native Fund (Sidewalks Fund)	280,000	280,000	-	-	-	-	-	-	-	280,000	
		AQMD Fd 237	-	67,000	67,000	67,000	-	-	-	-	-	134,000	
		General Fund (Native/Misc. Capital Projects Fund)	-	-	-	1,035,000	-	-	-	-	380,000	1,415,000	
		Subtotal	1,447,519	2,503,000	1,055,481	512,000	-	-	-	-	380,000	3,395,000	
		Total	1,536,304	3,101,000	1,564,696	164,000	-	-	-	-	630,000	3,895,000	

City of Yucaipa

Capital Improvement Program

Low Water Crossings

Project Number	Project Name	Funding Source	Life to Date	Prior Year	Estimated	Current Year						TBD	Total
			Estimated Actuals as of 6/30/2025	Authorized Budget	Remaining Budget as of 6/30/2025	Additional Budget Request	FY 2025-26	FY 2026-27	FY 2027-28	FY 2028-29	FY 2029-30		
C05082	Low Water Crossing Pendleton at Oak Glen Creek												
		Fed Grant - HBP	373,596	373,596	-	-	-	-	-	-	-	-	373,596
		Street Maintenance (Native Fund/LWC)	1,148,746	1,165,000	16,254	-	-	-	-	-	-	-	1,165,000
		Drainage DIF	486,000	486,000	-	-	-	-	-	-	-	-	486,000
		Subtotal	2,008,342	2,024,596	16,254	-	-	-	-	-	-	-	2,024,596
C05083	Low Water Crossing Fremont at Wilson Creek												
		Fed Grant - HBP (Native Fund/LWC)	3,524,087	3,722,000	197,913	-	-	-	-	-	-	-	3,722,000
		Street Maintenance Fund	264,000	264,000	-	-	-	-	-	-	-	-	264,000
		Drainage DIF	253,044	253,044	-	-	-	-	-	-	-	-	253,044
		Subtotal	4,041,131	4,239,044	197,913	-	-	-	-	-	-	-	4,239,044
C05160	Low Water Crossing Live Oak Cyn Rd												
		Fed Grant - HBP	194,697	672,832	478,135	-	-	-	-	-	-	-	672,832
		Street Maintenance Fund (Native Fd/LWC)	25,113	82,000	56,887	-	-	-	-	-	-	-	82,000
		Drainage DIF (Native Fd/LWC)	-	80,000	80,000	-	-	-	-	-	-	-	80,000
		Construction Funding TBD			-	-	-	-	-	-	13,000,000	13,000,000	
		Subtotal	219,810	834,832	615,022	-	-	-	-	-	13,000,000	13,834,832	
		Total	6,269,283	7,098,472	829,189	-	-	-	-	-	13,000,000	20,098,472	

City of Yucaipa

Capital Improvement Program

CDBG - Capital

Project Number	Project Name	Funding Source	Life to Date	Prior Year	Estimated Remaining	Current Year					TBD	Total	
			Estimated Actuals as of 6/30/2025	Authorized Budget	Budget as of 6/30/2025	Additional Budget Request FY 2025-26	FY 2026-27	FY 2027-28	FY 2028-29	FY 2029-30			
C10015	Scherer Senior Center Roof & Floor	Fed Grant - CDBG											
				352,557	353,951	1,394	-	-	-	-	-	-	353,951
			Subtotal	352,557	353,951	1,394	-	-	-	-	-	-	353,951
C10031	Scherer Sr. Ctr. Facility Building	Fed Grant - CDBG											
				2,572	200,291	197,719	-	-	-	-	-	-	200,291
			Subtotal	2,572	200,291	197,719	-	-	-	-	-	-	200,291
C10042	ADA Trail Improvement	Fed Grant - CDBG											
				-	-	-	170,000	-	-	-	-	-	170,000
			Subtotal	-	-	-	170,000	-	-	-	-	-	170,000
			Total	355,129	554,242	199,113	170,000	-	-	-	-	-	724,242

City of Yucaipa
Capital Improvement Program
Miscellaneous Capital Projects

Project Number	Project Name	Funding Source	Life to Date Estimated Actuals as of 6/30/2025	Prior Year Authorized Budget	Estimated Remaining Budget as of 6/30/2026	Current Year Budget Request FY 2025-26	FY 2026-27	FY 2027-28	FY 2028-29	FY 2029-30	TBD	Total
C04546	Wine Country Specific Plan-Phase II											
		Native Fund (Misc. Capital Projects Fund)	453,602	1,698,106	1,244,504	-	-	-	-	-	-	1,698,106
		AVA Grant	221,752	250,000	28,248	-	-	-	-	-	-	250,000
		Subtotal	675,354	1,948,106	1,272,752	-	-	-	-	-	-	1,948,106
C04550	Freeway Corridor Specific Plan											
		Native Fund (Misc. Capital Projects Fund)	783,267	1,496,826	713,559	-	-	-	-	-	-	1,496,826
		Subtotal	783,267	1,496,826	713,559	-	-	-	-	-	-	1,496,826
C05239	Library & Educational/Cultural Center											
		Public Facilities DIF (Native/Misc. Capital Projects Fund)	83,283	110,000	26,717	-	-	-	-	-	-	110,000
		Native Fund (Misc. Capital Projects Fund)	47,000	644,000	597,000	-	-	-	-	-	-	644,000
		Subtotal	130,283	754,000	623,717	-	-	-	-	-	-	754,000
C05283	Dunlap Park - Design, Specs, Landscape											
		Park Facilities DIF (Native/Misc. Capital Projects Fund)	296,387	702,000	405,613	-	-	-	-	-	-	702,000
		State Grant-Prop 68 Per Capita	-	210,761	210,761	-	-	-	-	-	-	210,761
		General Fund (Native/Misc. Capital Projects Fund)	208,217	414,000	205,783	-	-	-	-	-	-	414,000
		Street Maintenance Fund (Native/Misc Capital Projects Fd)	-	550,000	550,000	-	-	-	-	-	-	550,000
		Construction Funding TBD	-	-	-	-	-	-	-	-	10,000,000	10,000,000
		Subtotal	504,604	1,876,761	1,372,157	-	-	-	-	-	10,000,000	11,876,761
C05353	7th Street Pickleball Facility											
		Native Fund (Misc. Capital Projects Fund)	500,000	500,000	-	-	-	-	-	-	-	500,000
		Phase 2 - Funding Source TBD	-	-	-	-	-	-	-	-	720,000	720,000
		Subtotal	500,000	500,000	-	-	-	-	-	-	720,000	1,220,000
		Total	2,593,508	6,575,693	3,982,185	-	-	-	-	-	10,720,000	17,295,693

General Capital Projects

Project Number	Project Name	Funding Source	Life to Date	Prior Year	Estimated	Current Year						TBD	Total
			Estimated Actuals as of 6/30/2025	Authorized Budget	Remaining Budget as of 6/30/2025	Budget Request FY 2025-26	FY 2026-27	FY 2027-28	FY 2028-29	FY 2029-30			
C10027	7th Street Rehabilitation												
	Miscellaneous Capital Projects Fd		227,300	455,000	227,700	-	-	-	-	-	-	-	455,000
	Subtotal		227,300	455,000	227,700	-	-	-	-	-	-	-	455,000
C10028	10th Street Storm Drain												
	CFD 98-1 Chapman Heights		100,000	485,000	385,000	-	-	-	-	-	-	-	485,000
	Subtotal		100,000	485,000	385,000	-	-	-	-	-	-	-	485,000
C10043	City Wide Street Signal Improvement												
	Fed Grant - HSIP		-	-	-	357,480	-	-	-	-	-	-	357,480
	Gas Tax		-	-	-	39,720	-	-	-	-	-	-	39,720
	Subtotal		-	-	-	397,200	-	-	-	-	-	-	397,200
C10044	Hillary Storm Repairs - Oak Glen Rd												
	Fed Grant - CalTrans		-	-	-	146,552	-	-	-	-	-	-	146,552
	Measure I 2010-40		-	-	-	18,987	-	-	-	-	-	-	18,987
	Subtotal		-	-	-	165,539	-	-	-	-	-	-	165,539
	Total		327,300	940,000	612,700	562,739	-	-	-	-	-	-	1,502,739

Fire

[illegible]

Public Safety Fund

Project Number	Project Name	Funding Source	Life to Date	Prior Year Authorized Budget	Estimated	Current Year	FY 2026-27	FY 2027-28	FY 2028-29	FY 2029-30	TBD	Total
			Estimated Actuals as of 6/30/2025		Remaining Budget as of 6/30/2025	Budget Request FY 2025-26						
C10009	Custom Rearmount Aerial Fire Apparatus (Ladder Truck)											
	Native (Public Safety Fund)		-	-	-	-	-	-	-	-	2,500,000	2,500,000
	Subtotal		-	-	-	-	-	-	-	-	2,500,000	2,500,000
	Total		-	-	-	-	-	-	-	-	2,500,000	2,500,000